



WPA Form 1- Request for Determination of Applicability

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

A. General Information

Important:
When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



1. Applicant:

Town of Rowley Harbormaster	bill.dimento@townofrowley.org	
Name	E-Mail Address	
139 Main Street		
Mailing Address		
Rowley	MA	01969
City/Town	State	Zip Code
508-397-2450		
Phone Number	Fax Number (if applicable)	

2. Representative (if any):

Rimmer Environmental Consulting, LLC	mrimmer@rimmerenv.com	
Firm	E-Mail Address	
Mary Rimme		
Contact Name		
57 Boston Road		
Mailing Address		
Newbury	MA	01951
City/Town	State	Zip Code
978-463-9226		
Phone Number	Fax Number (if applicable)	

B. Determinations

1. I request the Rowley Conservation Commission make the following determination(s). Check any that apply:

- a. whether the **area** depicted on plan(s) and/or map(s) referenced below is an area subject to jurisdiction of the Wetlands Protection Act.
- b. whether the **boundaries** of resource area(s) depicted on plan(s) and/or map(s) referenced below are accurately delineated.
- c. whether the **work** depicted on plan(s) referenced below is subject to the Wetlands Protection Act.
- d. whether the area and/or work depicted on plan(s) referenced below is subject to the jurisdiction of any **municipal wetlands ordinance** or **bylaw** of:

Rowley
Name of Municipality

- e. whether the following **scope of alternatives** is adequate for work in the Riverfront Area as depicted on referenced plan(s).



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C. Project Description

1. a. Project Location (use maps and plans to identify the location of the area subject to this request):

81 Warehouse Lane	Rowley
Street Address	City/Town
26	11
Assessors Map/Plat Number	Parcel/Lot Number

- b. Area Description (use additional paper, if necessary):

Area of existing seasonal parking for town boat launch and associated woodland area

- c. Plan and/or Map Reference(s):

Sheet C2 Layout and Grading Plan	9-29-22
Title	Date
Sheet C1 - Existing Conditions Plan	9-29-22
Title	Date
_____	_____
Title	Date

2. a. Work Description (use additional paper and/or provide plan(s) of work, if necessary):

Improvements to existing parking area, including minor grading of existing access drive within Riverfront Area to control existing erosion and expansion of existing parking within the buffer zone to BVW to accommodate 6 additional trailer spaces



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C. Project Description (cont.)

b. Identify provisions of the Wetlands Protection Act or regulations which may exempt the applicant from having to file a Notice of Intent for all or part of the described work (use additional paper, if necessary).

Other portions of proposed work are outside of resource areas and buffer zones

3. a. If this application is a Request for Determination of Scope of Alternatives for work in the Riverfront Area, indicate the one classification below that best describes the project.

- Single family house on a lot recorded on or before 8/1/96
- Single family house on a lot recorded after 8/1/96
- Expansion of an existing structure on a lot recorded after 8/1/96
- Project, other than a single-family house or public project, where the applicant owned the lot before 8/7/96
- New agriculture or aquaculture project
- Public project where funds were appropriated prior to 8/7/96
- Project on a lot shown on an approved, definitive subdivision plan where there is a recorded deed restriction limiting total alteration of the Riverfront Area for the entire subdivision
- Residential subdivision; institutional, industrial, or commercial project
- Municipal project
- District, county, state, or federal government project
- Project required to evaluate off-site alternatives in more than one municipality in an Environmental Impact Report under MEPA or in an alternatives analysis pursuant to an application for a 404 permit from the U.S. Army Corps of Engineers or 401 Water Quality Certification from the Department of Environmental Protection.

b. Provide evidence (e.g., record of date subdivision lot was recorded) supporting the classification above (use additional paper and/or attach appropriate documents, if necessary.)



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D. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Request for Determination of Applicability and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge.

I further certify that the property owner, if different from the applicant, and the appropriate DEP Regional Office were sent a complete copy of this Request (including all appropriate documentation) simultaneously with the submittal of this Request to the Conservation Commission.

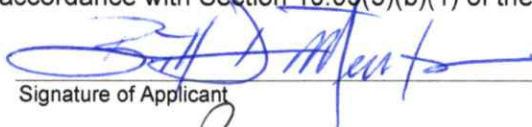

Failure by the applicant to send copies in a timely manner may result in dismissal of the Request for Determination of Applicability.

Name and address of the property owner:

Town of Rowley	_____
Name	_____
139 Main Street	_____
Mailing Address	_____
Rowley	_____
City/Town	_____
MA	01969
State	Zip Code

Signatures:

I also understand that notification of this Request will be placed in a local newspaper at my expense in accordance with Section 10.05(3)(b)(1) of the Wetlands Protection Act regulations.

	_____	10/6/22	_____
Signature of Applicant		Date	
	_____	10/6/22	_____
Signature of Representative (if any)		Date	

REQUEST FOR DETERMINATION OF APPLICABILITY

Town Landing Parking Improvements

81 Warehouse Lane

Rowley, MA

October 6, 2022

Project Location

The project site is a 11.5-acre Town-owned parcel located at 81 Warehouse Lane. Portions of this property are used for seasonal vehicle and trailer parking to support the municipal boat ramp on the Rowley River. The existing parking area is partly gravel and partly grass field. The remainder of the parcel is wooded and provides trails for passive recreational use.



Fig. 1 USGS Locus Map

Proposed Project

The subject parcel was acquired by the Town in 1975 and has since been used to provide Rowley residents with parking to provide access to the town ramp at the Rowley River. The parcel is used throughout the year by clammers and during the summer by recreational boaters. The gravel and grass areas used for vehicle and trailer parking are inadequate to support the demand, causing vehicles to queue in Warehouse Lane and causing a nuisance to neighbors. Often on busy summer weekends and holidays residents must be turned away due to the lack of available parking. The project goal is to accommodate existing as well as anticipated future demand due to an increasing town population. The project will increase the overall parking from 47 trailer spaces to 89 trailer spaces and existing passenger spaces from 63 to 83 spaces.

A small portion of the proposed improvements are located within wetland resources or buffer zones and include the following activities:

- 1) The repair of the eroded gravel drive that provides access to the grass field. A portion of this drive, estimated to be 685 square feet, is located within the outer 200-foot Riverfront Area to the Rowley River and is separated from the river by Warehouse Lane. Completion of this work will minimize the potential for migration of sediment into Warehouse Lane and the river.
- 2) The squaring-off of a portion of the existing parking area to accommodate an additional six (6) trailer parking spaces. This work is located more than 50 feet from adjacent D-series isolated vegetated wetland and is estimated to result in 684 square feet of activity within the 100-foot Buffer Zone. A temporary erosion control barrier is proposed at the limit of this activity to prevent migration of sediment toward wetland resources during construction. Upon completion of clearing and grading for these spaces, the spaces will be seeded with a conservation grass seed mix to ensure rapid soil stabilization.

Other work outside of resource areas includes tree clearing and grading for expansion of the existing grass field parking area. However, the entire project triggers review by the Rowley Conservation Commission under the Town of Rowley Stormwater Bylaw. An application for a Stormwater Management Permit has been submitted in addition to this Request for Determination. Included with the Stormwater Management Permit Application is a Stormwater Management Report prepared by D.C. MacRitchie, LLC which includes construction phase erosion control measures as well as a Long-Term Operation and Maintenance Plan. The goal of the stormwater management plan is to grade the site to generally follow the direction of existing flow paths and to utilize base material that has a similar infiltration capacity as existing conditions. The plan calls for 4-inches of new surface material consisting of a 50/50 mix of compost and washed coarse sand to be placed over subgrade. Where possible existing topsoil shall be used in lieu of compost and mixed with sand as necessary to create a stable base.

Also, since the area of land proposed to be disturbed for the entire project exceeds 1 acre, an EPA Construction General Permit (CGP) will be required, and a draft Stormwater Pollution Prevent Permit (SWPPP) has been prepared as part of this application which includes construction phase sedimentation and erosion control measures. The final SWPPP will be submitted upon selection of a contractor to complete the work



Fig. 2: MassGIS Orthophoto 2021

Wetland Resources

The boundary of wetland resources on site was delineated by Rimmer Environmental on April 25, 2022 and was reviewed in the field by the Rowley Conservation Administrator on May 3, 2022. Minor adjustments were made to the delineation of Bordering Vegetated Wetland at that time and were incorporated into the current plan set.

The site contains Bordering Vegetated Wetland located west of the existing parking area, delineated by the A, B and C series flags which all connect to the same wetland system off-site to the south. The D series is an isolated wetland jurisdictional under the local wetlands bylaw only. These are all forested wetlands dominated by red maple in the overstory and a mixed understory of glossy buckthorn and honeysuckle. Microtopography suggests historic drainage features, possibly from former agricultural use.

The Rowley River casts a 200-foot Riverfront Area extending from the mean high-water (MHW) line, estimated at elevation 6+/-.

The 100-year flood elevation, representing the limit of Land Subject to Coastal Storm Flowage, is indicated by FEMA as elevation 10 (NAVD 88) and does not extend into the project site.

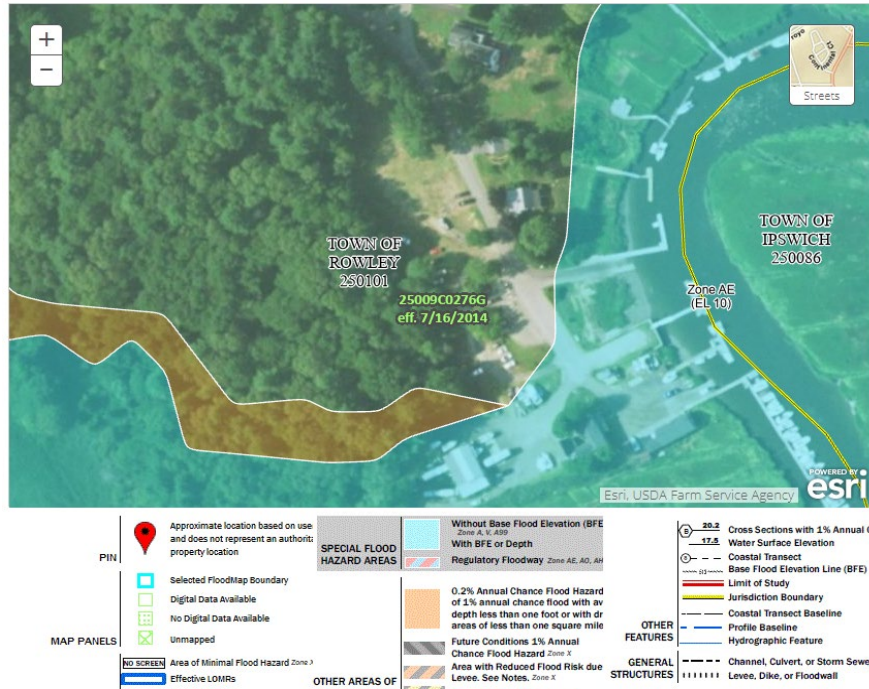


Fig. 3 FEMA Flood Map