

O.S.R.D OPEN SPACE RESIDENTIAL DESIGN PLANS

PROJECT GENERAL NOTES

- EXISTING BOUNDARY LINE, TOPOGRAPHIC, AND SITE UTILITY INFORMATION IS BASED UPON SURVEY PERFORMED BY DONOHOE SURVEY, INC.
- PRIOR TO THE START OF CONSTRUCTION IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM THAT ALL REQUIRED APPROVALS HAVE BEEN ISSUED AND THAT THE CONTRACTOR HAS RECEIVED AND REVIEWED ALL APPROVALS/CONDITIONS FOR THE PROJECT ISSUED BY THE **TOWN OF ROWLEY**.
- PRIOR TO WORK, CONTRACTOR SHALL HAVE THE PROPOSED SITE LAID OUT VERTICALLY AND HORIZONTALLY BY A PROFESSIONAL LAND SURVEYOR.
- IN ACCORDANCE WITH CHAPTER 82 SECTION 40 INCLUDING AMENDMENTS, THE CONTRACTOR SHALL NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO EXCAVATION WORK AND CALL DIG-SAFE AT 1-800-DIG-SAFE PRIOR TO COMMENCING WORK.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVES. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATIONS, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
- CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL EXISTING UTILITIES AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL PROVIDE ADEQUATE BRACINGS AND SHORINGS OF ALL EXCAVATIONS IN ACCORDANCE WITH THE REQUIREMENTS OF ALL GOVERNING CODES AND REGULATIONS.
- CONTRACTOR SHALL COORDINATE WITH THE STATE POLICE AND/OR THE LOCAL POLICE DEPARTMENT FOR TRAFFIC RELATED ISSUES PRIOR TO COMMENCING WORK. CONTRACTOR SHALL PROVIDE ALL NECESSARY TRAFFIC COORDINATION AND POLICE DETAILS AS REQUIRED BY THE CITY, TOWN OR STATE.
- CONTRACTOR SHALL SAW-CUT PAVEMENT WHERE PAVEMENT TO BE REMOVED ABUTS PAVEMENT WHICH IS TO REMAIN AND WHERE NEW PAVEMENT ABUTS EXISTING PAVEMENT.
- CONTRACTOR SHALL MAINTAIN ALL NEW AND EXISTING UTILITIES IN GOOD WORKING ORDER AND SHALL PROTECT THEM FROM DAMAGE AT ALL TIMES THROUGHOUT CONSTRUCTION UNTIL WORK IS COMPLETED AND ACCEPTED.
- PRIOR TO CONSTRUCTION CONTRACTOR SHALL OBTAIN THE NPDES CONSTRUCTION GENERAL PERMIT.
- TOWN OF ROWLEY DEPARTMENT OF PUBLIC WORKS SHALL BE NOTIFIED 72 HOURS IN ADVANCE TO MARK OUT TOWN OF ROWLEY UTILITIES.
- ALL WATER, SEWER, CURB CUT, STREET OPENING AND JACKIE'S LAW EXCAVATION PERMITS SHALL BE OBTAINED AT THE DEPARTMENT OF PUBLIC WORKS PRIOR TO ANY EXCAVATION.
- FINAL APPROVAL OF DRIVEWAY LAYOUT AND LOCATION SHALL BE SUBMITTED TO THE PLANNING BOARD PRIOR TO BUILDING PERMITS.
- FINAL STREET ADDRESSES NUMBERS SHALL BE ISSUED BY TOWN OF ROWLEY BUILDING DEPARTMENT UPON APPLICATION OF THE BUILDING PERMIT FOR EACH LOT.
- ALL SITE WORK SHALL BE INSPECTED BY THE TOWN OF ROWLEY ENGINEERING REPRESENTATIVE OR THE DEPARTMENT OF PUBLIC WORKS. THE APPLICANT/OWNER'S CONTRACTOR SHALL SUBMIT A CONSTRUCTION SCHEDULE FOR THE PROPOSED WORK. ALL INSPECTIONS SHALL BE SCHEDULED 24 HOURS IN ADVANCE.
- AN APPROVED SITE AS-BUILT PLAN SHALL BE SUBMITTED TO THE ENGINEERING DIVISION OR PLANNING BOARD WITHIN 60 DAYS OF THE CERTIFICATED OF OCCUPANCY. THE AS-BUILT SHALL BE SUBMITTED IN MYLAR AND IN ELECTRONIC AUTOCAD FORMAT.
- SUBDIVISIONS PLANS WILL ALSO BE SUBMITTED TO THE ROWLEY CONSERVATION COMMISSION FOR NOTICE OF INTENT APPROVAL.

DIG SAFE NOTES

- IN ACCORDANCE WITH CHAPTER 82 SECTION 40 INCLUDING AMENDMENTS, THE CONTRACTOR SHALL NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO EXCAVATION WORK AND CALL DIG-SAFE AT 1-800-DIG-SAFE PRIOR TO COMMENCING WORK.
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- CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL EXISTING UTILITIES AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCING WORK.

BEFORE CONSTRUCTION CALL (72 HOURS IN ADVANCE):

- "DIG SAFE" AT 1-888-DIG SAFE
- 1-888-344-7233



GENERAL UTILITY NOTES

- PRIOR TO CONSTRUCTION AND THE PURCHASE OF ANY DRAINAGE PIPE, SEWER PIPE, FITTINGS, AND MANHOLES, THE CONTRACTOR SHALL FIELD VERIFY ALL OFF-SITE UTILITY CROSSINGS. THE CONTRACTOR SHALL CONDUCT TEST FITS AND/OR VACUUM EXCAVATION TO CONFIRM VERTICAL AND HORIZONTAL LOCATIONS FOR ALL UTILITY CROSSINGS. REPORT AND DISCREPANCIES TO THE ENGINEER AND THE TOWN OF ROWLEY DEPARTMENT OF PUBLIC WORKS (DPW). IF REQUIRED FIELD ADJUSTMENTS WILL BE COORDINATED WITH THE TOWN OF ROWLEY DPW.

UTILITY ASSUMPTIONS

THE FOLLOWING ASSUMPTIONS WERE MADE BY THE DESIGNER CONCERNING THE VERTICAL LOCATION OF OFF-SITE EXISTING UTILITIES:

- ALL WATER LINES (TRUNK LINES AND SERVICES) WERE ASSUMED TO BE 5' BELOW THE EXISTING SURFACE TO TOP OF PIPE.
- ALL GAS PIPES AND GAS SERVICES WERE ASSUMED TO BE 3' BELOW THE EXISTING SURFACE TO TOP OF PIPE.

FALCON RIDGE
430 WETHERSFIELD STREET
ROWLEY, MA

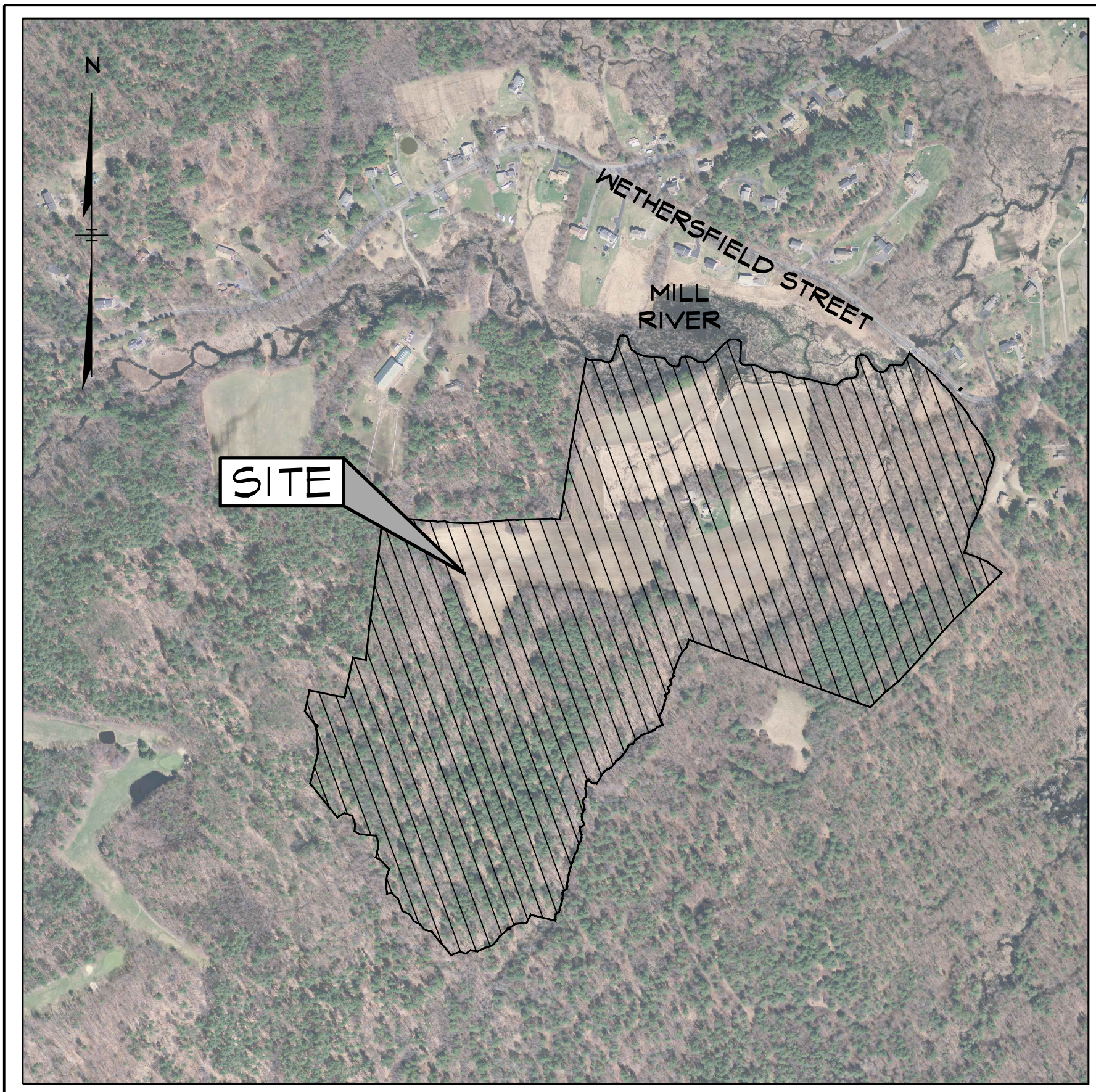
PREPARED FOR APPLICANT:

TAYLOR LANE LLC
357 NORTH STREET
GEORGETOWN, MA 01833

PREPARED BY:

ASB design group LLC

363 boston street, route 1
topsfield ma 01983
phone 978.500.8419



LOCATION PLAN

SCALE: 1" = 500' ±
SOURCE: MA GIS DIGITAL RASTER GRAPHIC (DRG)

INDEX OF SHEETS

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COVER SHEET: INDEX & NOTES

PERIMETER PLAN - **DONOHOE SURVEY INC.**

EXISTING CONDITIONS & TOPOGRAPHIC PLANS - **DONOHOE SURVEY INC.**

OPEN SPACE PLAN - **DONOHOE SURVEY INC.**

LOTTING/ROADWAY PLAN - **DONOHOE SURVEY INC.**

OVERALL SITE PLAN, NRCS SOIL DATA

& SITE GRADING DETAILS

SITE GRADING, UTILITY, DRAINAGE, & SWPP PLAN

O.S.R.D. ROADWAY PROFILES

SITE DETAILS

UTILITY DETAILS

DRAINAGE DETAILS

BMP & STORMWATER RECHARGE DETAILS

EROSION CONTROL DETAILS

CURRENT OWNERS:

CHERYL MORAN & PATRICIA SIMON
430 WETHERSFIELD STREET
ROWLEY, MA. 01969
E.S.R.D 33945/310

EDWARD T. MOORE AS TRUSTEE OF
SEASIDE REALTY TRUST
8 DOAKS LANE
MARBLEHEAD, MA 01945
E.S.R.D 36202/194

BRUCE E. TOMPKINS AND STEPHANIE
DESJARDINS, TRUSTEES OF THE
TOMPKINS-DESJARDINS TRUST
74 LONG HILL ROAD
ROWLEY, MA 01969
E.S.R.D 13094/275
E.S.R.D 13096/223

VERTICAL DATUM:

DATUM BASE N.A.V.D. 1988
AT THE COMPLETION OF CLEARING, GRUBBING
AND STUMP REMOVAL AND PRIOR TO
ROADWAY CONSTRUCTION, THE SURVEYOR WILL
SET BENCHMARKS ALONG THE PROPOSED
ROADWAY FOR ROADWAY AND UTILITY
CONSTRUCTION.

NOTES:

- A NOTICE OF INTENT PREPARED BY NORSE ENVIRONMENTAL, INC. WILL BE SUBMITTED TO ROWLEY CONSERVATION COMMISSION FOR REVIEW, COMMENT AND APPROVAL.
- DEP No. 063-0693 - NOTICE OF INTENT FOR TAYLOR BROOK STREAM CROSSING. RECORDED 37977 / 305

O.R.A.D. - 37723 / 384
O.R.A.D. - 36988 / 478

SITE GRADING AND BUILDING COORDINATION NOTES:

- PRIOR TO CONSTRUCTION AND PURCHASE OF ANY BUILDING AND/OR SITE UTILITY MATERIALS THE CONTRACTOR SHALL COORDINATE WITH ARCHITECTURAL DRAWINGS TO CONFIRM THE FOLLOWINGS ITEMS:
 - BUILDING FLOOR ELEVATIONS.
 - EXTERIOR SITE GRADING INTERFACE WITH THE BUILDING FACADE.
 - EXTERIOR SITE LANDSCAPING INTERFACE WITH THE BUILDING FACADE.
 - SEE ARCHITECTURAL DRAWINGS FOR FINAL VERTICAL AND HORIZONTAL LOCATION OF ALL BUILDING UTILITIES 10' FROM THE FOUNDATION INCLUDING BUT NOT LIMITED TO SEWER, WATER, FIRE PROTECTION, GAS, ELECTRIC/COMMUNICATIONS AND FLOOR DRAINS (IF APPLICABLE). VERTICAL AND HORIZONTAL LOCATION OF UTILITIES SERVICES SHOWN TO THE BUILDING ARE FOR PLANING PURPOSES ONLY.
 - EXTERIOR BUILDING LIGHTING.
- IT IS THE RESPONSIBILITY OF THE ARCHITECT TO COORDINATE SITE GRADING SHOWN ON THE PROPOSED GRADING PLANS, SHEETS C6-1 TO C6-13, WITH BUILDINGS EXTERIOR FACADE/FOUNDATION.
- MINIMUM FOUNDATION EXPOSED ABOVE FINISH GRADE TO BE 12".
- BUILDINGS WILL BE GRADED TO PROVIDE FOR WALK OUT BASEMENTS IF APPLICABLE TO THE LOT.
- BUILDINGS WILL BE GRADED TO PROVIDE FOR STEP IN FOUNDATIONS AS SHOWN ON SHEETS C6-1 TO C6-13.
- CONTRACTOR SHALL GRADE EACH UNIT TO PROVIDE FOR:
 - ADEQUATE SLOPE TO DIRECT STORMWATER RUNOFF AWAY FROM THE BUILDING AND FOUNDATION.
 - ADEQUATE SLOPE TO DIRECT STORMWATER RUNOFF AWAY FROM THE GARAGE FLOOR.
 - GUTTERS WILL BE DIRECTED TO STORMWATER INFILTRATION SYSTEMS.
 - LOCATION OF UNIT STORM-WATER INFILTRATION SYSTEMS WILL BE DETERMINED IN COORDINATION WITH FINAL ARCHITECTURAL DESIGN DRAWINGS AND SEPTIC SYSTEM PLANS.

PROPOSED LOT HOUSE LAYOUT AND SEPTIC SYSTEMS:

- PROPOSED HOUSES, DRIVEWAYS, AND GRADING SPECIFIC TO EACH LOT, ARE SHOWN CONCEPTUAL FOR PLANNING PURPOSES ONLY. FINAL DESIGN FOR EACH LOT WITHIN THE BUILDING ENVELOPE AS SHOWN WILL BE REQUIRED PRIOR TO CONSTRUCTION.
- SEPTIC SYSTEMS SHOWN ON SHEETS C6-1 TO C6-13 HAVE BEEN DESIGNED FOR 4 BEDROOMS (150 GALLONS PER BEDROOM - ROWLEY BOARD OF HEALTH) WITH A PERCOLATION RATE OF 10 MINUTS AND INCH.
- IT IS THE RESPONSIBILITY OF EACH LOT OWNER TO COORDINATE FINAL BUILDING PLANS WITH THE TOWN OF ROWLEY BUILDING DEPARTMENT.

SEPTIC SYSTEM DESIGN DRAWINGS

FINAL SEPTIC SYSTEM DESIGN PLANS WILL BE SUBMITTED TO THE ROWLEY BOARD OF HEALTH FOR REVIEW AND APPROVAL. SEPTIC SYSTEM PLANS WILL INCLUDE (AT A MINIMUM) THE FOLLOWING ITEMS:

- SEPTIC SYSTEM SIZING CALCULATIONS.
- SOIL LOGS.
- SEPTIC SYSTEM LAYOUT.
- PUMP SIZING DATA AND DETAILS (IF REQUIRED).
- PUMP CHAMBER DETAILS (IF REQUIRED).
- SYSTEM PROFILE AND CROSS-SECTION.
- SEPTIC TANK INVERTS.
- PUMP ALARM SYSTEM.
- SEPTIC SYSTEM OPERATION AND MAINTENANCE.

CONSULTANTS DESIGN TEAM:

ATTORNEY:

MANN & MANN COUNELORS AT LAW
191 S MAIN STREET #104
MIDDLETON, MA. 01949
978.762.6238

CIVIL ENGINEER:

ASB DESIGN GROUP, LLC
363 BOSTON STREET
TOPSFIELD MA 01983
978.500.8419

SURVEYOR:

DONOHOE SURVEY, INC.
363 BOSTON STREET
TOPSFIELD MA 01983
978.887.6161

WETLANDS

NORSE ENVIRONMENTAL
SERVICES, INC.
92 MIDDLESEX ROAD
UNIT 4
TYNGSBORO, MA 01879
978.644.9932

GEOTECHNICAL:

GZA GEONVIRONMENTAL, INC.
3712 MERRIMAC STREET
NEWBURYPORT MA 01950
978.278.4800

FOR REGISTRY USE ONLY

I CERTIFY THAT THIS PLAN CONFORMS
TO THE RULES AND REGULATIONS OF
THE REGISTERS OF DEEDS.

Thad D Berry

DATE: 1.16.2020



ASB

design group, LLC

civil engineering
traffic engineering
architecture
landscape design & construction

363 boston street, route 1
topsfield, ma 01983

**ROWLEY, MA
PLANNING BOARD**

APPROVAL UNDER THE
SUBDIVISION CONTROL
LAW REQUIRED

DATE: _____

project title:

FALCON RIDGE SUBDIVISION

prepared for applicant:

TAYLOR LANE LLC
357 NORTH STREET
GEORGETOWN, MA 01833

parcel identification:

map: 9 & 12

block: N.A.

parcel: N.A.

lot: 2, 3, 4, & 23

revisions

no.	date	description
0	1.16.2020	ISSUED FOR REVIEW
1	4.27.20	REVIEW COMMENTS
2	6.21.20	REVIEW COMMENTS

plan submission

O.S.R.D PLANS

date: 1.16.2020

scale: AS NOTED

job no: 2017-22

DEP no: 063-0692 O.R.A.D.

DEP no: 063-0693 N.O.I.



Thad D Berry

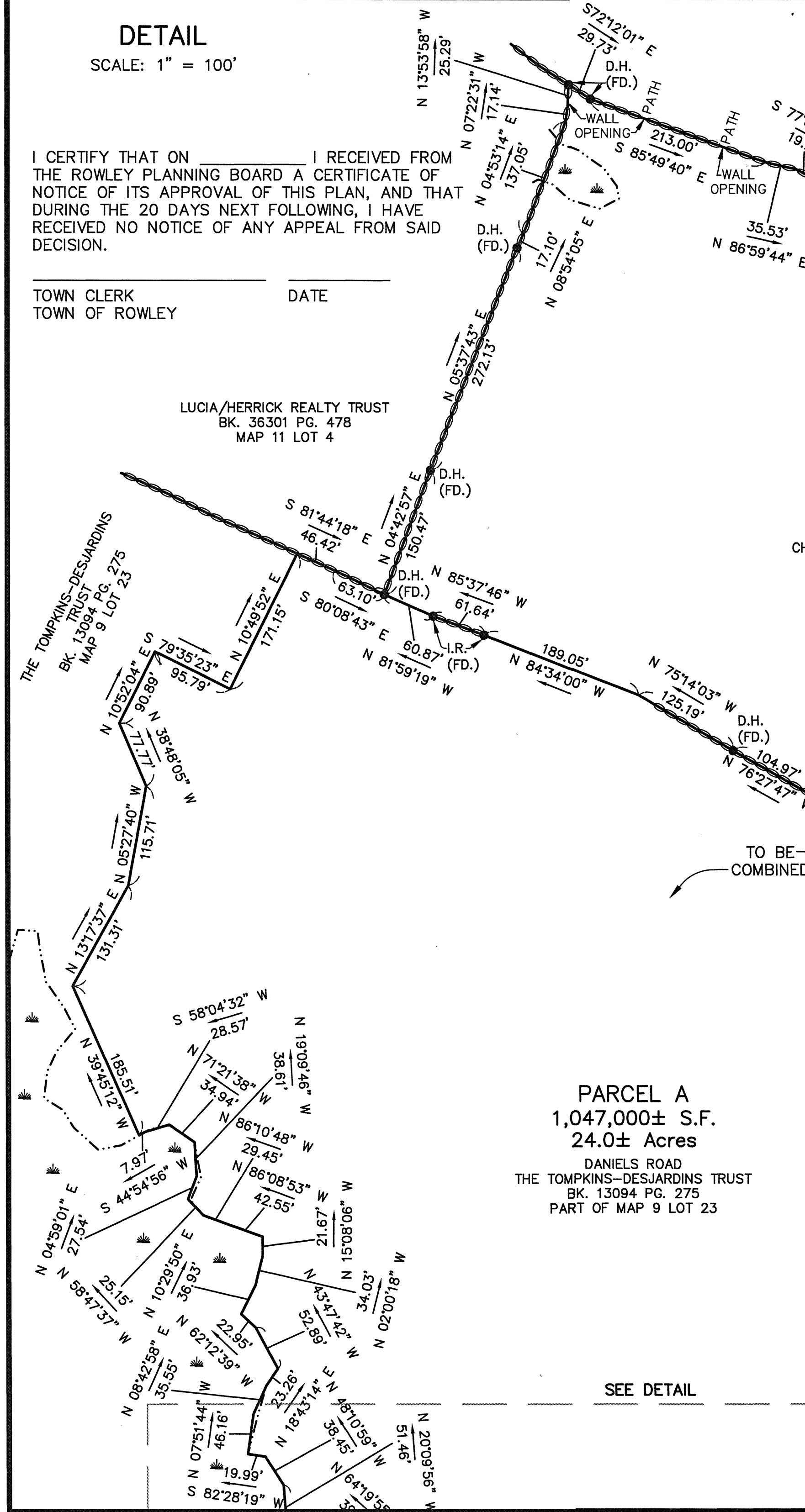
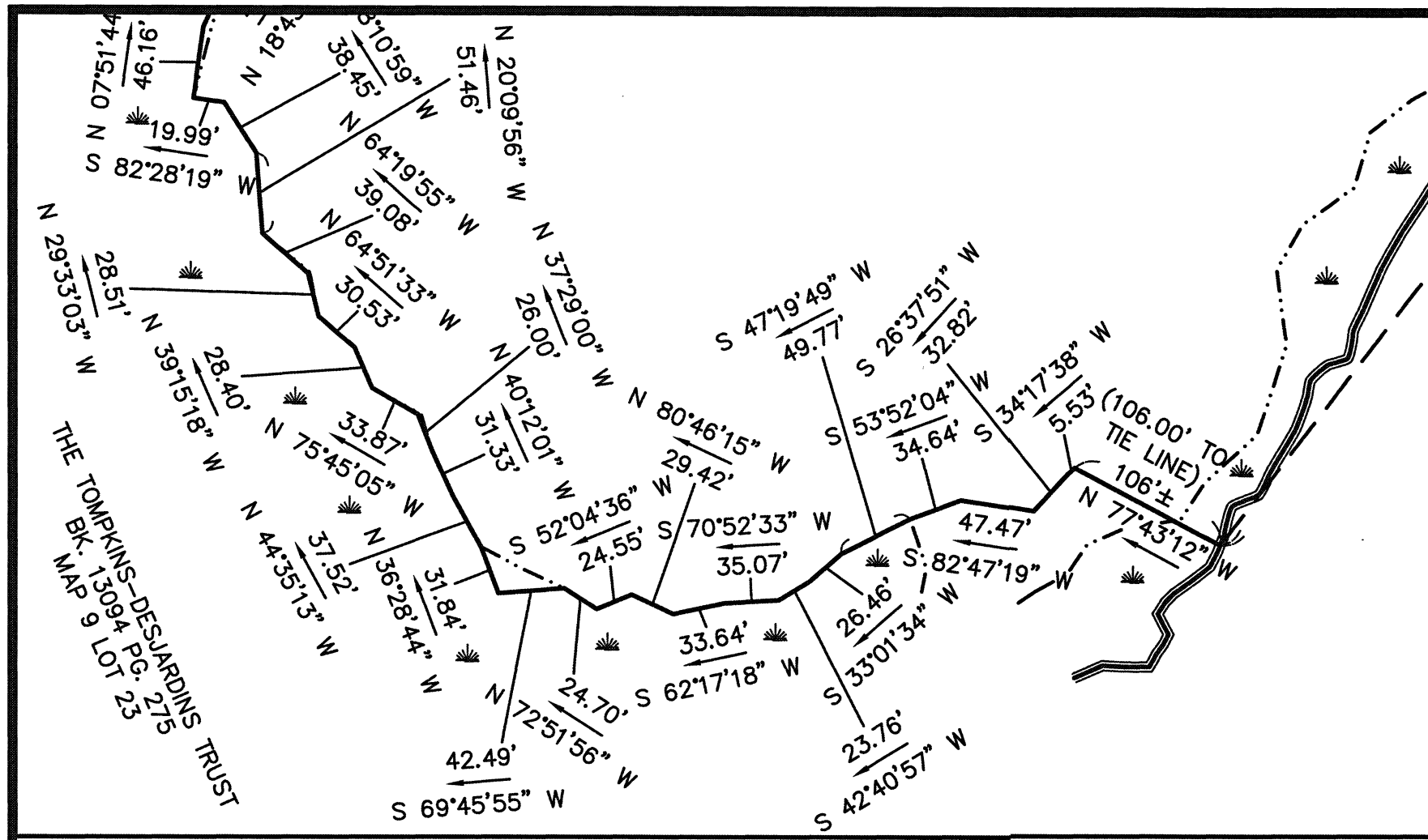
drawing name

COVER SHEET:
INDEX & NOTES

drawing number

C1

sheet 1 of 42



I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

6/19/20
DATE

ADAM PAUL DONOHOE
#50256
REGISTERED PROFESSIONAL LAND SURVEYOR

FOR REGISTRY USE ONLY

TOWN OF ROWLEY
BK. 31476 PG. 113
LOTS 7A, 8A & 9A PL. BK. 414 PL. 39
MAP 12 LOTS 1-3, 1-4, 1-5

WETHERSFIELD STREET
(PUBLIC - WIDTH VARIES)

TAYLOR LANE
(PRIVATE - WIDTH VARIES)

LOT 1A
2,228,000± S.F.
51.1± Acres
430 WETHERSFIELD STREET
CHERYL J. MORAN & PATRICIA A. SIMON
BK. 33945 PG. 310
MAP 12 LOTS 3 & 4

LOT 2A
640,000± S.F.
14.7± Acres
TAYLOR LANE
SEASIDE REALTY TRUST
BK. 36202 PG. 194
MAP 12 LOT 2

PARCEL A
1,047,000± S.F.
24.0± Acres
DANIELS ROAD
THE TOMPKINS-DESJARDINS TRUST
BK. 13094 PG. 275
PART OF MAP 9 LOT 23

ROWLEY, MA
PLANNING BOARD
APPROVAL UNDER THE
SUBDIVISION CONTROL LAW REQUIRED

TOWN OF ROWLEY
BK. 33744 PG. 309
PL. BK. 445 PL. 64
MAP 18 LOT 7

TOWN OF ROWLEY
BK. 33744 PG. 309
PL. BK. 445 PL. 64
MAP 18 LOT 7

LEGEND & SYMBOLS

D.H. DRILL HOLE
I.R. IRON ROD
FD. FOUND

SCALE: 1" = 100'

JUNE 19, 2020

DONOHOE SURVEY, INC.
363 BOSTON ST. TOPSFIELD, MA
PERIMETER & ORIGINAL LOTS SHEET C2 (978) 887-6161

PROJ. 3569

ZONING DISTRICTS: OUTLYING & FLOODPLAIN

ASSESSORS: MAP 12 LOTS 2, 3, & 4
MAP 9 LOT 23 (PART OF)

REFERENCES:

DEEDS - BK. 36202 PG. 194 (LOT 2)
BK. 33945 PG. 310 (LOTS 3 & 4)
BK. 13094 PG. 275 (LOT 23)

PLANS - PL. 551 OF 1973
PL. BK. 445 PL. 64
PL. BK. 316 PL. 47
PL. BK. 414 PL. 39
PL. BK. 392 PL. 31
PL. BK. 383 PL. 69
UNRECORDED PLAN PREPARED FOR
EDWARD P. MORAN BY JOHN P. MACOLINI
DATED 11/3/2003

LEGEND & SYMBOLS

- RFA RIVERFRONT AREA
BZ BUFFER ZONE
ND NO DISTURB
IR INNER RIPARIAN
TREE/BRUSH LINE
©10B WETLAND FLAG & NUMBER
WETLAND SYMBOL
UTILITY POLE

VERTICAL DATUM: N.A.V.D. 1988

HORIZONTAL DATUM: N.A.D. 1983

AERIAL MAPPING: COL-EAST INC. (AUGUST 2017)

WETLAND DELINEATION: NORSE ENVIRONMENTAL SERVICES, INC.
(OCTOBER-DECEMBER 2017 & APRIL 2019)

FEMA: MAP NO.: 25009C0256G (7/16/2014) ZONE A

MATTHEW P. & JENNIFER A. GRENIER
BK. 26784 PG. 572
LOT 2 PL. BK. 383 PL. 69
MAP 11 LOT 1-2

THE BETTS-BEASLEY REALTY TRUST
BK. 27800 PG. 548
LOT 3A PL. BK. 392 PL. 31
MAP 11 LOT 1-3

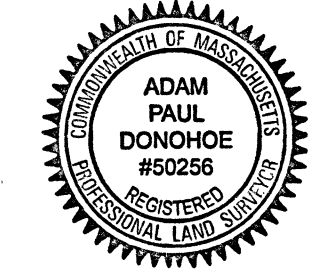
RONALD A. GARRON, JR. & TAMMY M. JOHNS
LOT 4B PL. BK. 414 PL. 39
MAP 11 LOT 1-4

LORI S. & BETH LAURET
LOT 5A PL. BK. 414 PL. 39
MAP 12 LOT 1-1

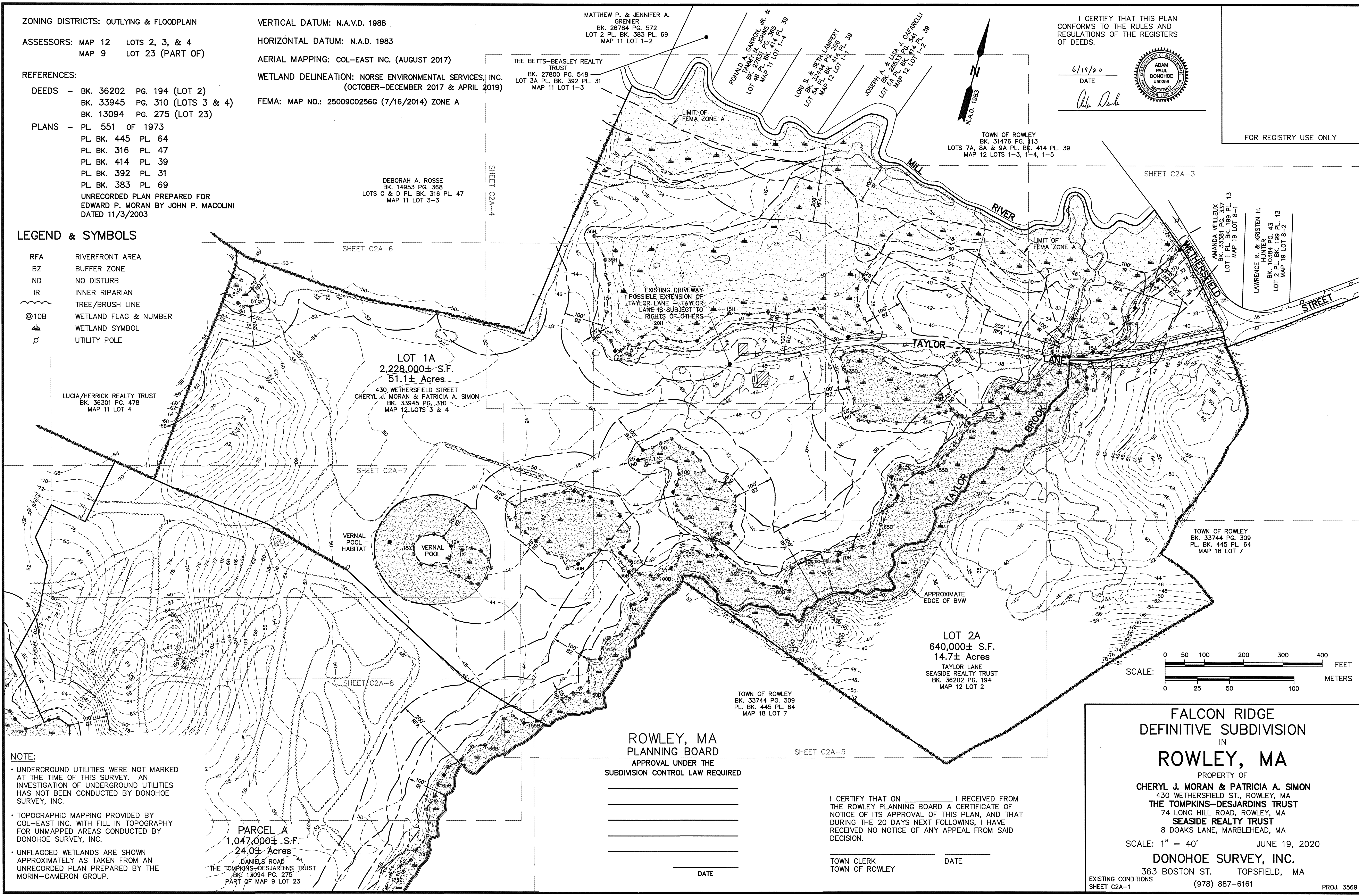
JOSEPH A. & LISA J. CAFARELLI
LOT 6A PL. BK. 414 PL. 39
MAP 12 LOT 1-2

I CERTIFY THAT THIS PLAN
CONFORMS TO THE RULES AND
REGULATIONS OF THE REGISTERS
OF DEEDS.

6/19/20
DATE



FOR REGISTRY USE ONLY



NOTE:
• UNDERGROUND UTILITIES WERE NOT MARKED AT THE TIME OF THIS SURVEY. AN INVESTIGATION OF UNDERGROUND UTILITIES HAS NOT BEEN CONDUCTED BY DONOHUE SURVEY, INC.
• TOPOGRAPHIC MAPPING PROVIDED BY COL-EAST INC. WITH FILL IN TOPOGRAPHY FOR UNMAPPED AREAS CONDUCTED BY DONOHUE SURVEY, INC.
• UNFLAGGED WETLANDS ARE SHOWN APPROXIMATELY AS TAKEN FROM AN UNRECORDED PLAN PREPARED BY THE MORIN-CAMERON GROUP.

PARCEL A
1,047,000± S.F.
24.0± Acres
DANIELS ROAD
THE TOMPKINS-DESJARDINS TRUST
BK. 13094 PG. 275
PART OF MAP 9 LOT 23

ROWLEY, MA
PLANNING BOARD
APPROVAL UNDER THE
SUBDIVISION CONTROL LAW REQUIRED

DATE

I CERTIFY THAT ON _____ I RECEIVED FROM
THE ROWLEY PLANNING BOARD A CERTIFICATE OF
NOTICE OF ITS APPROVAL OF THIS PLAN, AND THAT
DURING THE 20 DAYS NEXT FOLLOWING, I HAVE
RECEIVED NO NOTICE OF ANY APPEAL FROM SAID
DECISION.

TOWN CLERK
TOWN OF ROWLEY

DATE

FALCON RIDGE
DEFINITIVE SUBDIVISION
IN
ROWLEY, MA

PROPERTY OF
CHERYL J. MORAN & PATRICIA A. SIMON
430 WETHERSFIELD ST., ROWLEY, MA
THE TOMPKINS-DESJARDINS TRUST
74 LONG HILL ROAD, ROWLEY, MA
SEASIDE REALTY TRUST
8 DOAKS LANE, MARBLEHEAD, MA

SCALE: 1" = 40' JUNE 19, 2020

DONOHUE SURVEY, INC.

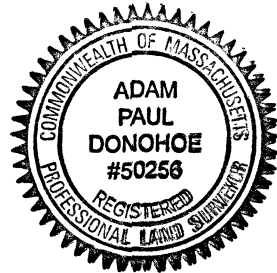
363 BOSTON ST. TOPSFIELD, MA
EXISTING CONDITIONS SHEET C2A-1 (978) 887-6161

I CERTIFY THAT THIS PLAN
CONFORMS TO THE RULES AND
REGULATIONS OF THE REGISTERS
OF DEEDS.

6/19/20

DATE

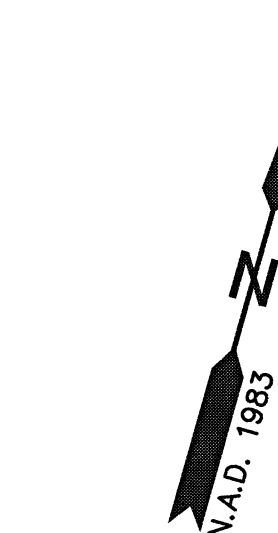
Adam Paul Donohoe



DEBORAH A. ROSSE
BK. 14953 PG. 368
LOTS C & D PL. BK. 316 PL. 47
MAP 11 LOT 3-3

SHEET C2A-6

FOR REGISTRY USE ONLY



THE TOMPKINS-DESJARDINS TRUST
BK. 13094 PG. 275
MAP 9 LOT 23

LUCIA/HERRICK REALTY TRUST
BK. 36301 PG. 478
MAP 11 LOT 4

LOT 1A
2,228,000± S.F.
51.1± Acres

430 WETHERSFIELD STREET
CHERYL J. MORAN & PATRICIA A. SIMON
BK. 33945 PG. 310
MAP 12 LOTS 3 & 4

SHEET C2A-7

VERNAL POOL
HABITAT

SHEET C2A-8

PARCEL A
1,047,000± S.F.
24.0± Acres

DANIELS ROAD
THE TOMPKINS-DESJARDINS TRUST
BK. 13094 PG. 275
PART OF MAP 9 LOT 23

LEGEND & SYMBOLS

RFA	RIVERFRONT AREA
BZ	BUFFER ZONE
ND	NO DISTURB
IR	INNER RIPARIAN
	TREE/BRUSH LINE
©10B	WETLAND FLAG & NUMBER
	WETLAND SYMBOL
	WETLAND FLAG & NUMBER

THE TOMPKINS-DESJARDINS TRUST
BK. 13094 PG. 275
MAP 9 LOT 23

SHEET C2A-4

SHEET C2A-6

SHEET C2A-7

SHEET C2A-8

SHEET C2A-5

DATE

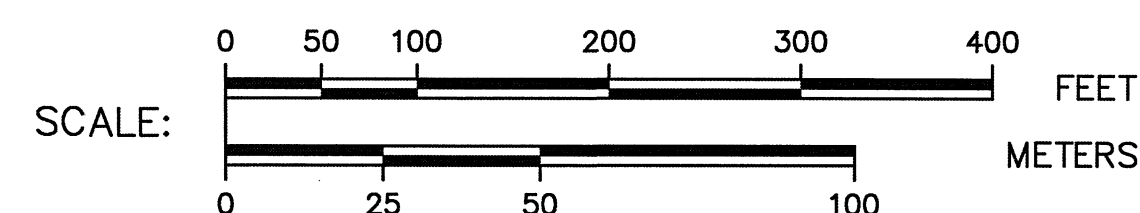
ROWLEY, MA
PLANNING BOARD
APPROVAL UNDER THE
SUBDIVISION CONTROL LAW REQUIRED

DATE

I CERTIFY THAT ON _____ I RECEIVED FROM
THE ROWLEY PLANNING BOARD A CERTIFICATE OF
NOTICE OF ITS APPROVAL OF THIS PLAN, AND THAT
DURING THE 20 DAYS NEXT FOLLOWING, I HAVE
RECEIVED NO NOTICE OF ANY APPEAL FROM SAID
DECISION.

TOWN CLERK
TOWN OF ROWLEY

DATE



FALCON RIDGE DEFINITIVE SUBDIVISION IN ROWLEY, MA

PROPERTY OF
CHERYL J. MORAN & PATRICIA A. SIMON
430 WETHERSFIELD ST., ROWLEY, MA
THE TOMPKINS-DESJARDINS TRUST
74 LONG HILL ROAD, ROWLEY, MA
SEASIDE REALTY TRUST
8 DOAKS LANE, MARBLEHEAD, MA

SCALE: 1" = 40' JUNE 19, 2020

DONOHUE SURVEY, INC.

363 BOSTON ST. TOPSFIELD, MA

EXISTING CONDITIONS
SHEET C2A-2

(978) 887-6161

PROJ. 3569

SHEET C2A-3

AMANDA VELLEUX
BK. 33381 PG. 337
LOT 1 PL. BK. 199 PL. 13
MAP 19 LOT 8-1

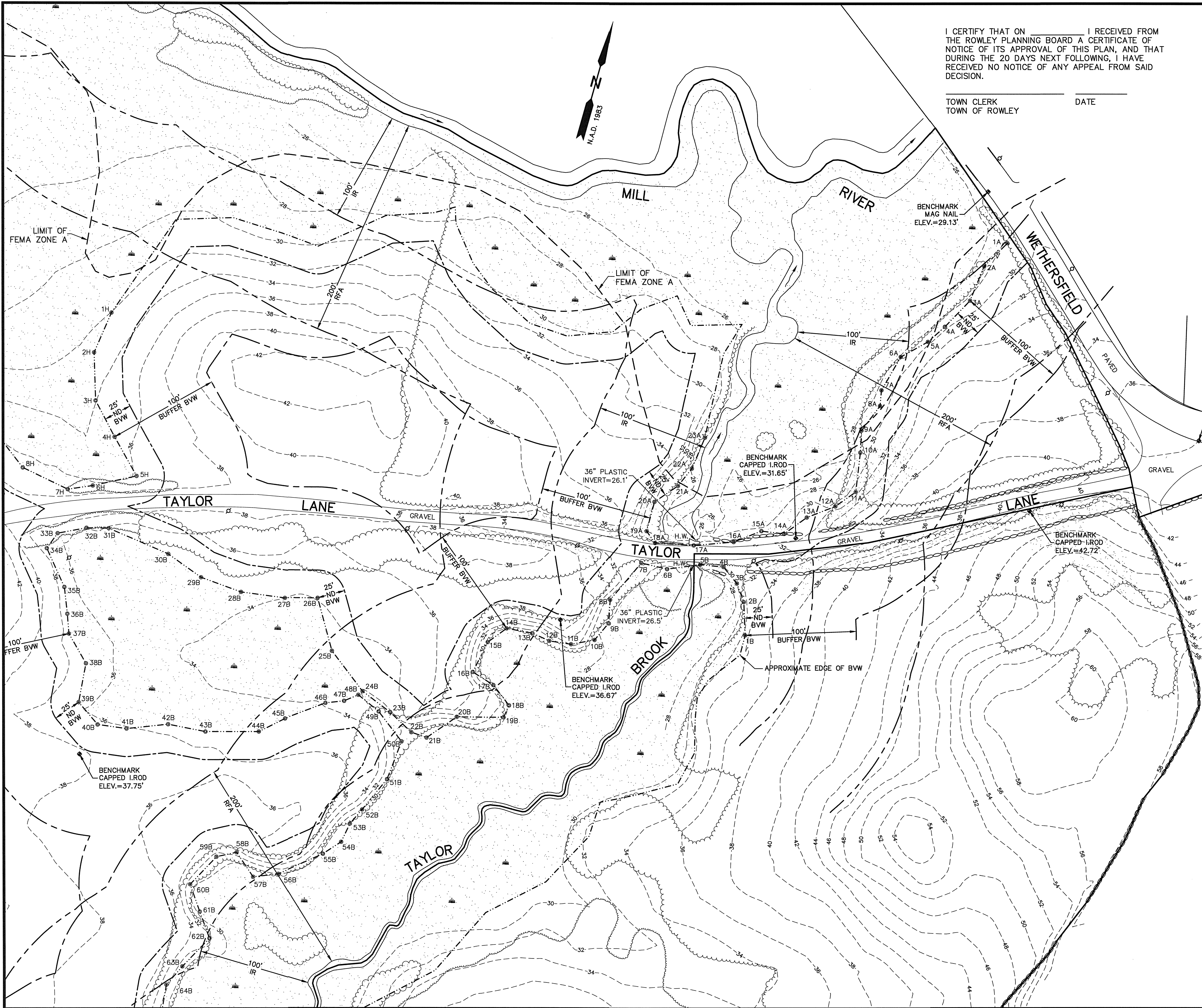
TOWN OF ROWLEY
BK. 33744 PG. 309
PL. BK. 445 PL. 64
MAP 18 LOT 7

APPROXIMATE
EDGE OF BWV

LOT 2A
640,000± S.F.
14.7± Acres
TAYLOR LANE
SEASIDE REALTY TRUST
BK. 36202 PG. 194
MAP 12 LOT 2

TOWN OF ROWLEY
BK. 33744 PG. 309
PL. BK. 445 PL. 64
MAP 18 LOT 7

SHEET C2A-5



I CERTIFY THAT ON _____ I RECEIVED FROM THE ROWLEY PLANNING BOARD A CERTIFICATE OF NOTICE OF ITS APPROVAL OF THIS PLAN, AND THAT DURING THE 20 DAYS NEXT FOLLOWING, I HAVE RECEIVED NO NOTICE OF ANY APPEAL FROM SAID DECISION.

TOWN CLERK _____ DATE _____
TOWN OF ROWLEY

ROWLEY, MA
PLANNING BOARD
APPROVAL UNDER THE
SUBDIVISION CONTROL LAW REQUIRED

FOR REGISTRY USE ONLY

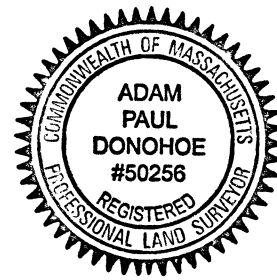
DATE

I CERTIFY THAT THIS PLAN
CONFORMS TO THE RULES AND
REGULATIONS OF THE REGISTERS
OF DEEDS.

6/19/20

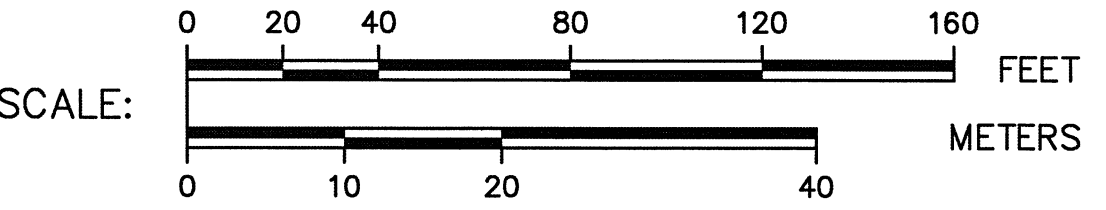
DATE

Adam Paul Donohoe



LEGEND & SYMBOLS

- | | |
|-------|------------------------------|
| RFA | RIVERFRONT AREA |
| BVW | BORDERING VEGETATED WETLANDS |
| ISW | ISOLATED VEGETATED WETLANDS |
| ND | NO DISTURB |
| IR | INNER RIPARIAN |
| I.ROD | IRON ROD |
| ELEV. | ELEVATION |
| ○ | UTILITY POLE |
| — | TREE/BRUSH LINE |
| ⊙10B | WETLAND FLAG & NUMBER |
| ▲ | WETLAND SYMBOL |
| H.W. | HEADWALL |



FALCON RIDGE DEFINITIVE SUBDIVISION IN ROWLEY, MA

PROPERTY OF
CHERYL J. MORAN & PATRICIA A. SIMON
430 WETHERSFIELD ST., ROWLEY, MA
THE TOMPKINS-DESJARDINS TRUST
74 LONG HILL ROAD, ROWLEY, MA
SEASIDE REALTY TRUST
8 DOAKS LANE, MARBLEHEAD, MA

SCALE: 1" = 40' JUNE 19, 2020

DONOHUE SURVEY, INC.

363 BOSTON ST. TOPSFIELD, MA

EXISTING CONDITIONS
SHEET C2A-3

(978) 887-6161

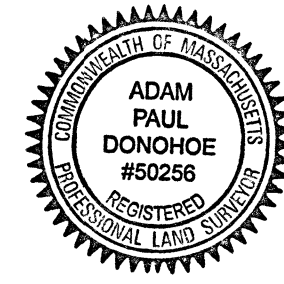
PROJ. 3569

I CERTIFY THAT THIS PLAN
CONFORMS TO THE RULES AND
REGULATIONS OF THE REGISTERS
OF DEEDS.

6/19/20

DATE

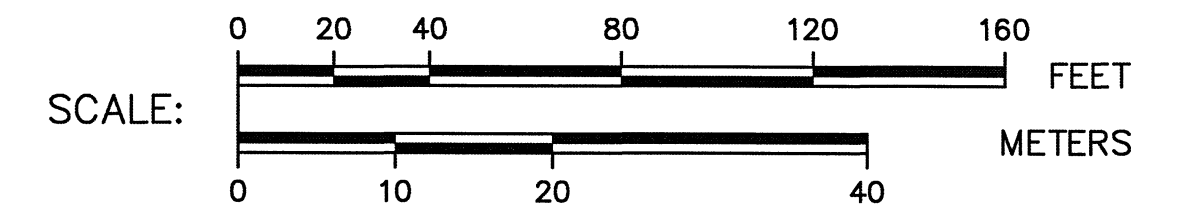
Adam Paul Donohoe



FOR REGISTRY USE ONLY

ROWLEY, MA
PLANNING BOARD
APPROVAL UNDER THE
SUBDIVISION CONTROL LAW REQUIRED

DATE



I CERTIFY THAT ON _____ I RECEIVED FROM
THE ROWLEY PLANNING BOARD A CERTIFICATE OF
NOTICE OF ITS APPROVAL OF THIS PLAN, AND THAT
DURING THE 20 DAYS NEXT FOLLOWING, I HAVE
RECEIVED NO NOTICE OF ANY APPEAL FROM SAID
DECISION.

TOWN CLERK
TOWN OF ROWLEY

DATE

LEGEND & SYMBOLS

RFA	RIVERFRONT AREA
BVW	BORDERING VEGETATED WETLANDS
ISW	ISOLATED VEGETATED WETLANDS
ND	NO DISTURB
IR	INNER RIPARIAN
I.ROD	IRON ROD
ELEV.	ELEVATION
	UTILITY POLE
	TREE/BRUSH LINE
©10B	WETLAND FLAG & NUMBER
	WETLAND SYMBOL
H.W.	HEADWALL



FALCON RIDGE DEFINITIVE SUBDIVISION IN ROWLEY, MA

PROPERTY OF
CHERYL J. MORAN & PATRICIA A. SIMON
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74 LONG HILL ROAD, ROWLEY, MA
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8 DOAKS LANE, MARBLEHEAD, MA

SCALE: 1" = 40' JUNE 19, 2020

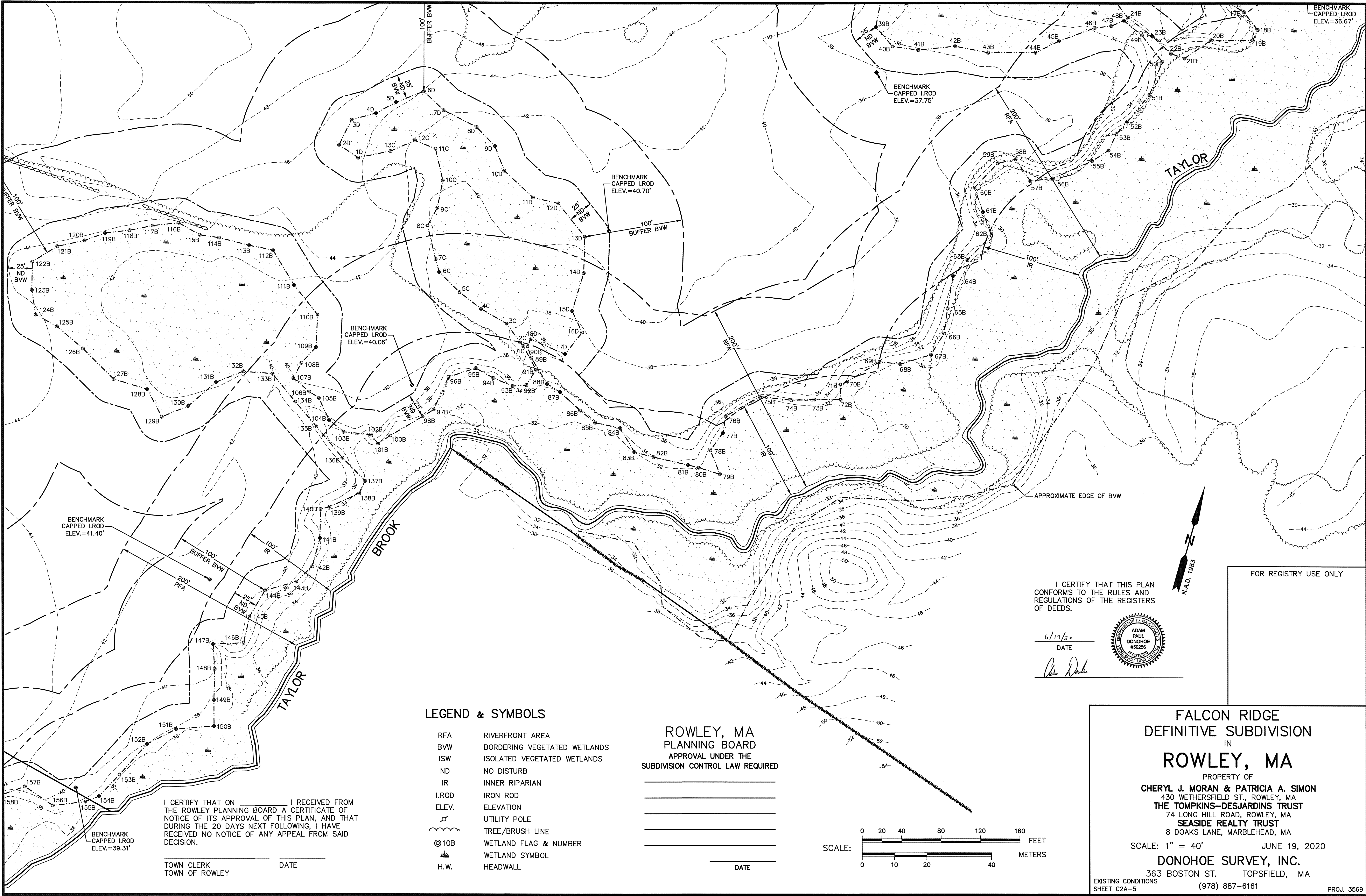
DONOHUE SURVEY, INC.

363 BOSTON ST. TOPSFIELD, MA

EXISTING CONDITIONS
SHEET C2A-4

(978) 887-6161

PROJ. 3569



I CERTIFY THAT ON _____ I RECEIVED FROM THE ROWLEY PLANNING BOARD A CERTIFICATE OF NOTICE OF ITS APPROVAL OF THIS PLAN, AND THAT DURING THE 20 DAYS NEXT FOLLOWING, I HAVE RECEIVED NO NOTICE OF ANY APPEAL FROM SAID DECISION.

TOWN CLERK
TOWN OF ROWLEY

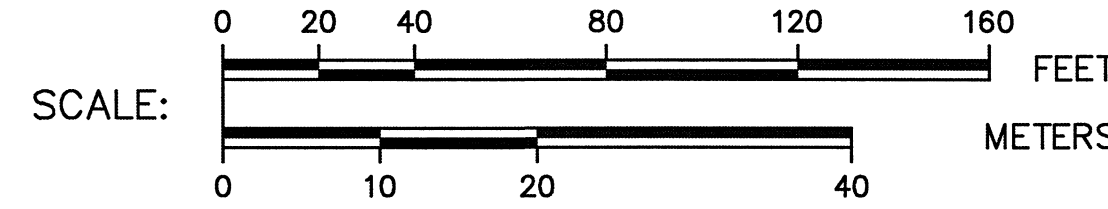
DATE _____

LEGEND & SYMBOLS

- | | |
|-------|------------------------------|
| RFA | RIVERFRONT AREA |
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| I.ROD | IRON ROD |
| ELEV. | ELEVATION |
| ⊕ | UTILITY POLE |
| ~~~~~ | TREE/BRUSH LINE |
| ⊙10B | WETLAND FLAG & NUMBER |
| ⊕ | WETLAND SYMBOL |
| H.W. | HEADWALL |

ROWLEY, MA
PLANNING BOARD
APPROVAL UNDER THE
SUBDIVISION CONTROL LAW REQUIRED

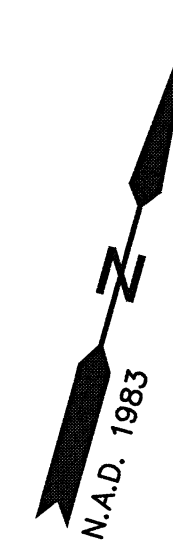
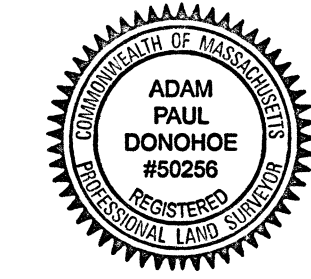
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6/19/20
DATE

Adam Paul Donohoe



FOR REGISTRY USE ONLY

FALCON RIDGE
DEFINITIVE SUBDIVISION
IN
ROWLEY, MA

PROPERTY OF
CHERYL J. MORAN & PATRICIA A. SIMON
430 WETHERSFIELD ST., ROWLEY, MA
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SCALE: 1" = 40' JUNE 19, 2020

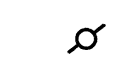


DONOHUE SURVEY, INC.
363 BOSTON ST. TOPSFIELD, MA

EXISTING CONDITIONS
SHEET C2A-5

(978) 887-6161

PROJ. 3569

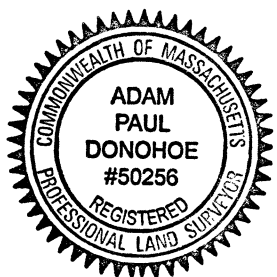
LEGEND & SYMBOLS

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|---|------------------------------|
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|  | WETLAND SYMBOL |
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FOR REGISTRY USE ONLY

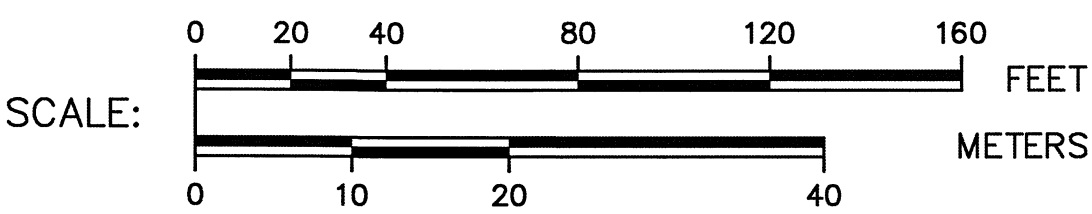
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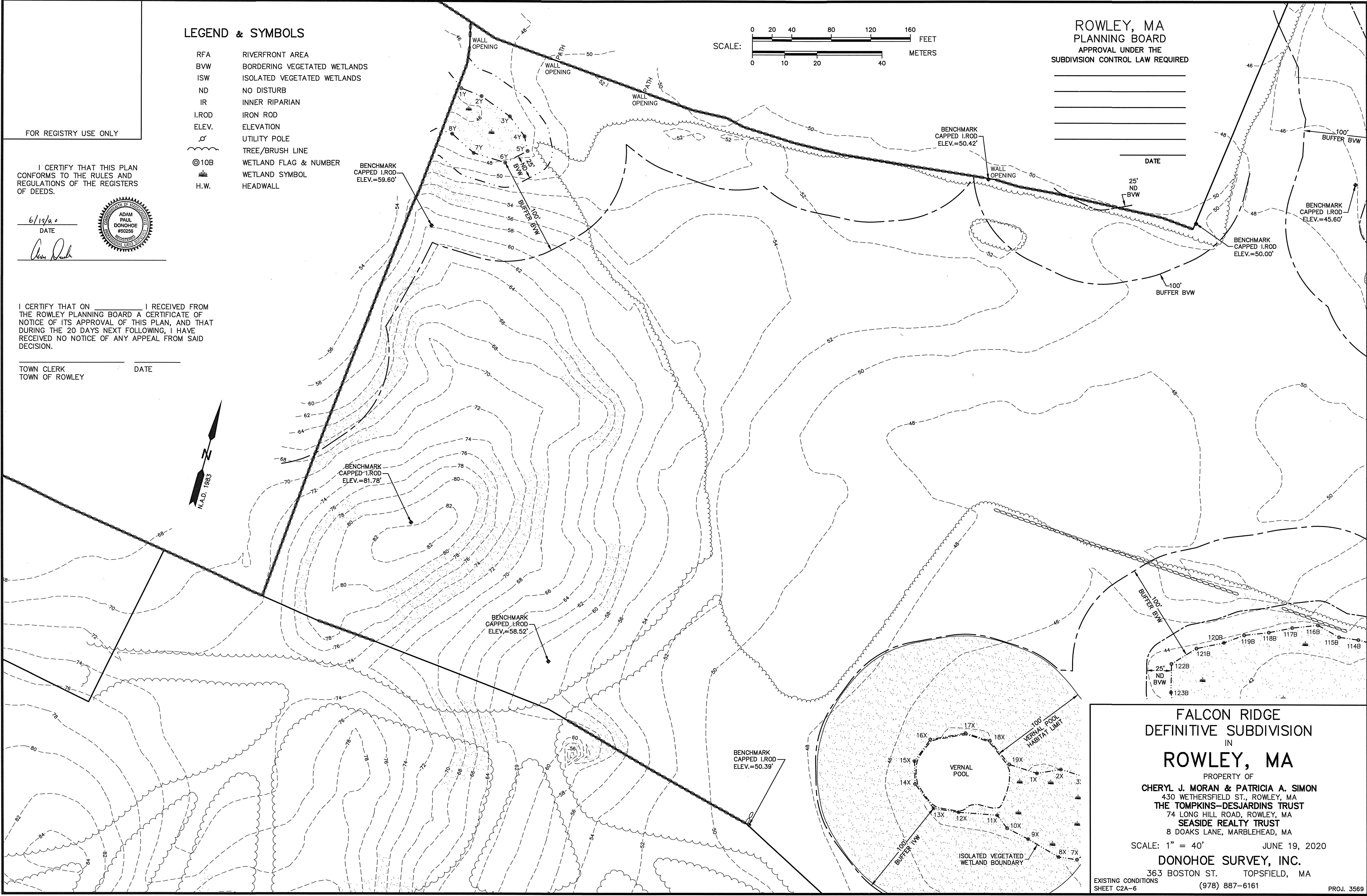
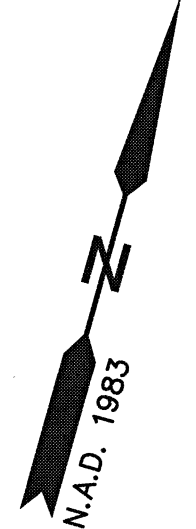
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TOWN CLERK
TOWN OF ROWLEY
DATE



ROWLEY, MA
PLANNING BOARD
APPROVAL UNDER THE
SUBDIVISION CONTROL LAW REQUIRED

DATE



FALCON RIDGE
DEFINITIVE SUBDIVISION
IN
ROWLEY, MA

PROPERTY OF
CHERYL J. MORAN & PATRICIA A. SIMON
430 WETHERSFIELD ST., ROWLEY, MA
THE TOMPKINS-DESJARDINS TRUST
74 LONG HILL ROAD, ROWLEY, MA
SEASIDE REALTY TRUST
8 DOAKS LANE, MARBLEHEAD, MA

SCALE: 1" = 40' JUNE 19, 2020

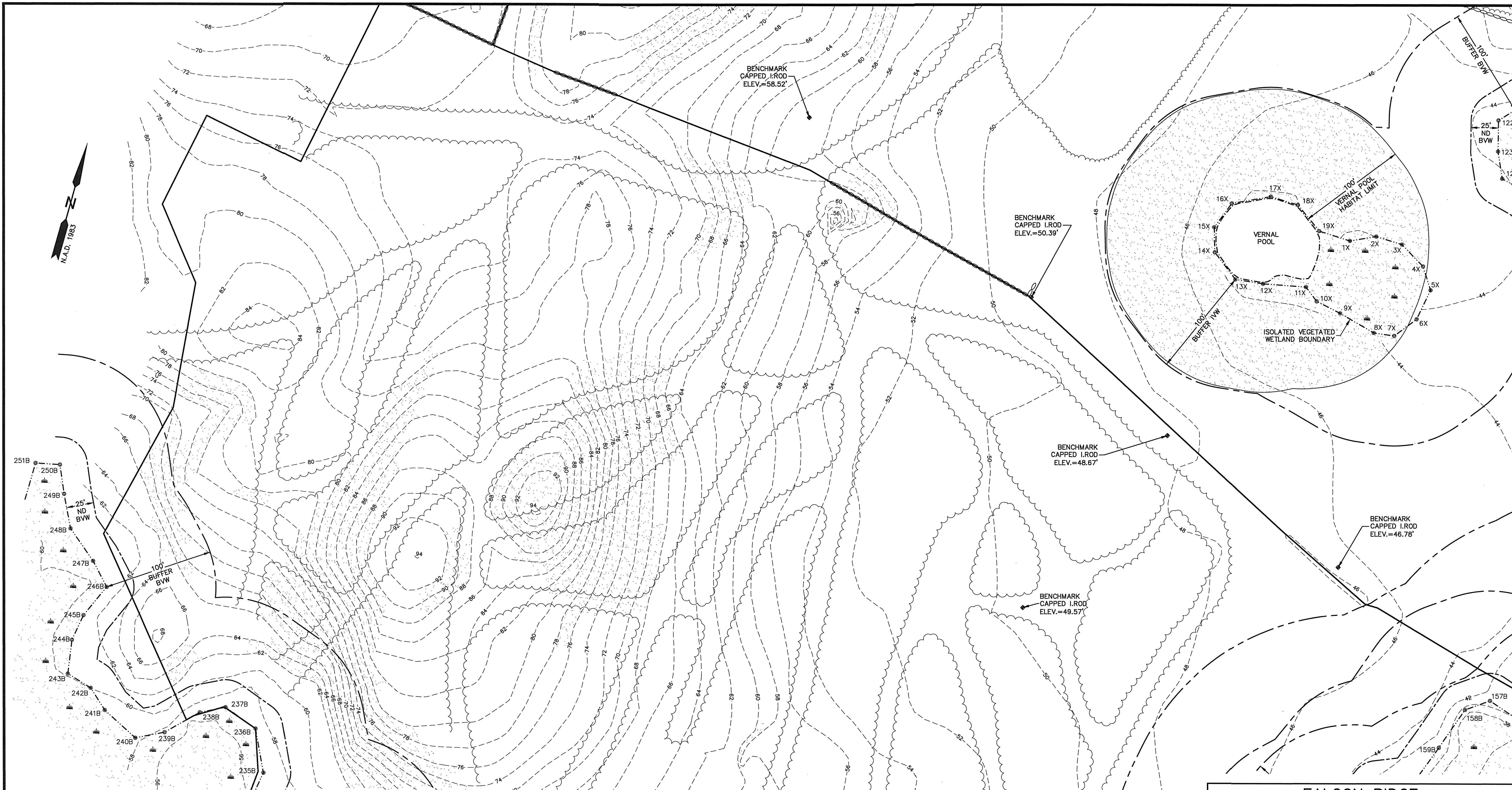
DONOHUE SURVEY, INC.

363 BOSTON ST. TOPSFIELD, MA

EXISTING CONDITIONS
SHEET C2A-6

(978) 887-6161

PROJ. 3569

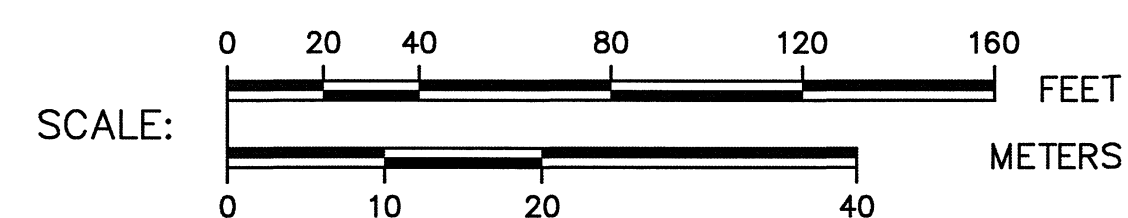


LEGEND & SYMBOLS

RFA	RIVERFRONT AREA
BVW	BORDERING VEGETATED WETLANDS
ISW	ISOLATED VEGETATED WETLANDS
ND	NO DISTURB
IR	INNER RIPARIAN
I.ROD	IRON ROD
ELEV.	ELEVATION
	UTILITY POLE
	TREE/BRUSH LINE
©10B	WETLAND FLAG & NUMBER
	WETLAND SYMBOL
H.W.	HEADWALL

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TOWN CLERK _____ DATE _____
TOWN OF ROWLEY



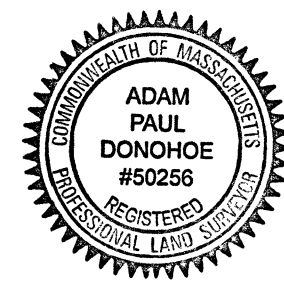
ROWLEY, MA
PLANNING BOARD
APPROVAL UNDER THE
SUBDIVISION CONTROL LAW REQUIRED

DATE _____

FOR REGISTRY USE ONLY

I CERTIFY THAT THIS PLAN
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OF DEEDS.

6/19/20
DATE



FALCON RIDGE DEFINITIVE SUBDIVISION IN ROWLEY, MA

PROPERTY OF
CHERYL J. MORAN & PATRICIA A. SIMON
430 WETHERSFIELD ST., ROWLEY, MA
THE TOMPKINS-DESJARDINS TRUST
74 LONG HILL ROAD, ROWLEY, MA
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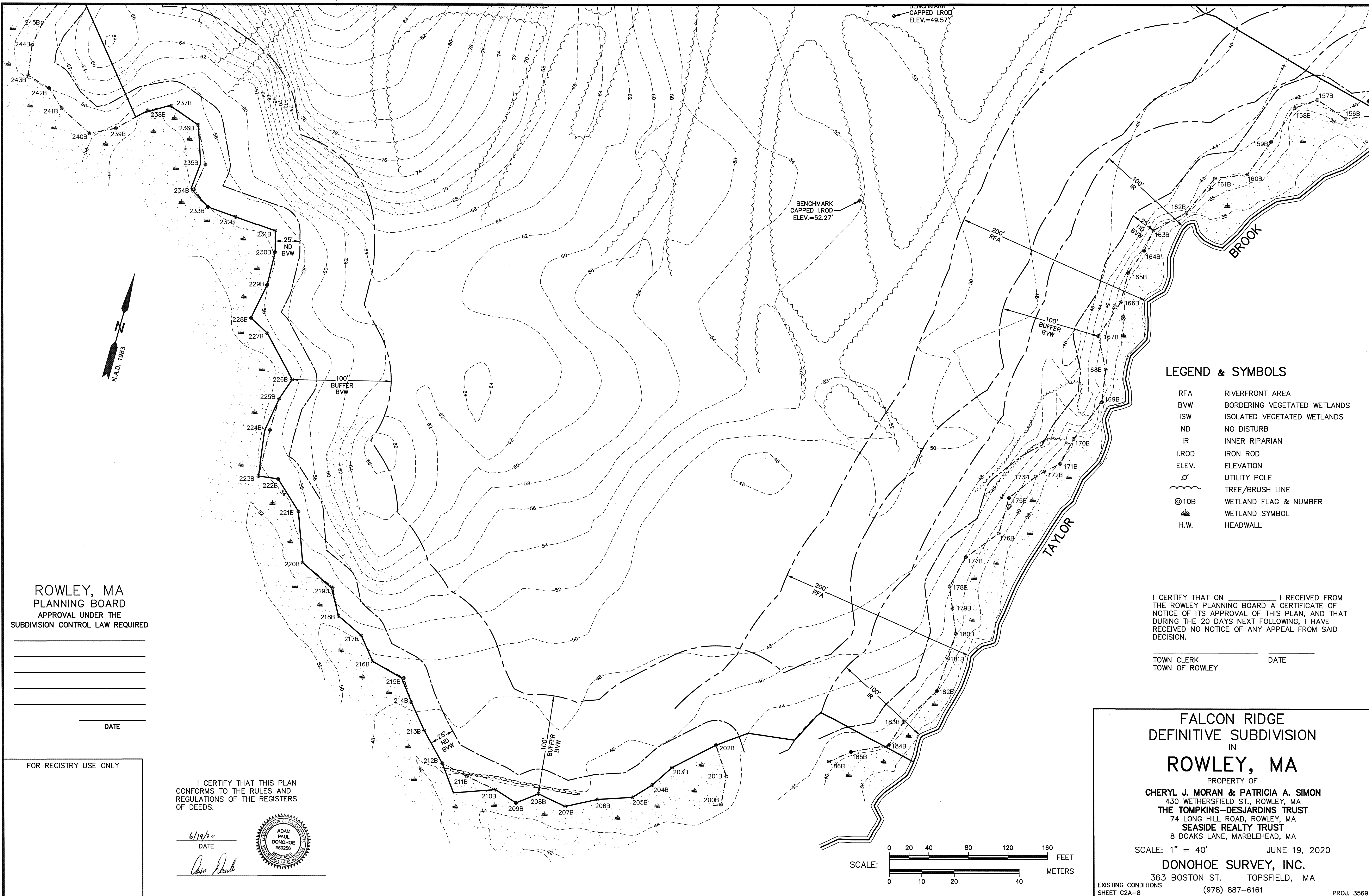
DONOHUE SURVEY, INC.

363 BOSTON ST. TOPSFIELD, MA

EXISTING CONDITIONS
SHEET C2A-7

(978) 887-6161

PROJ. 3569



ROWLEY, MA
PLANNING BOARD

APPROVAL UNDER THE
SUBDIVISION CONTROL LAW REQUIRED

DATE

LEGEND & SYMBOLS

D.H. DRILL HOLE
FD. FOUND
WETLAND SYMBOL

I CERTIFY THAT ON _____ I RECEIVED FROM
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TOWN OF ROWLEY

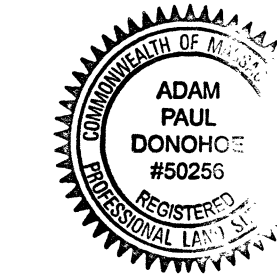
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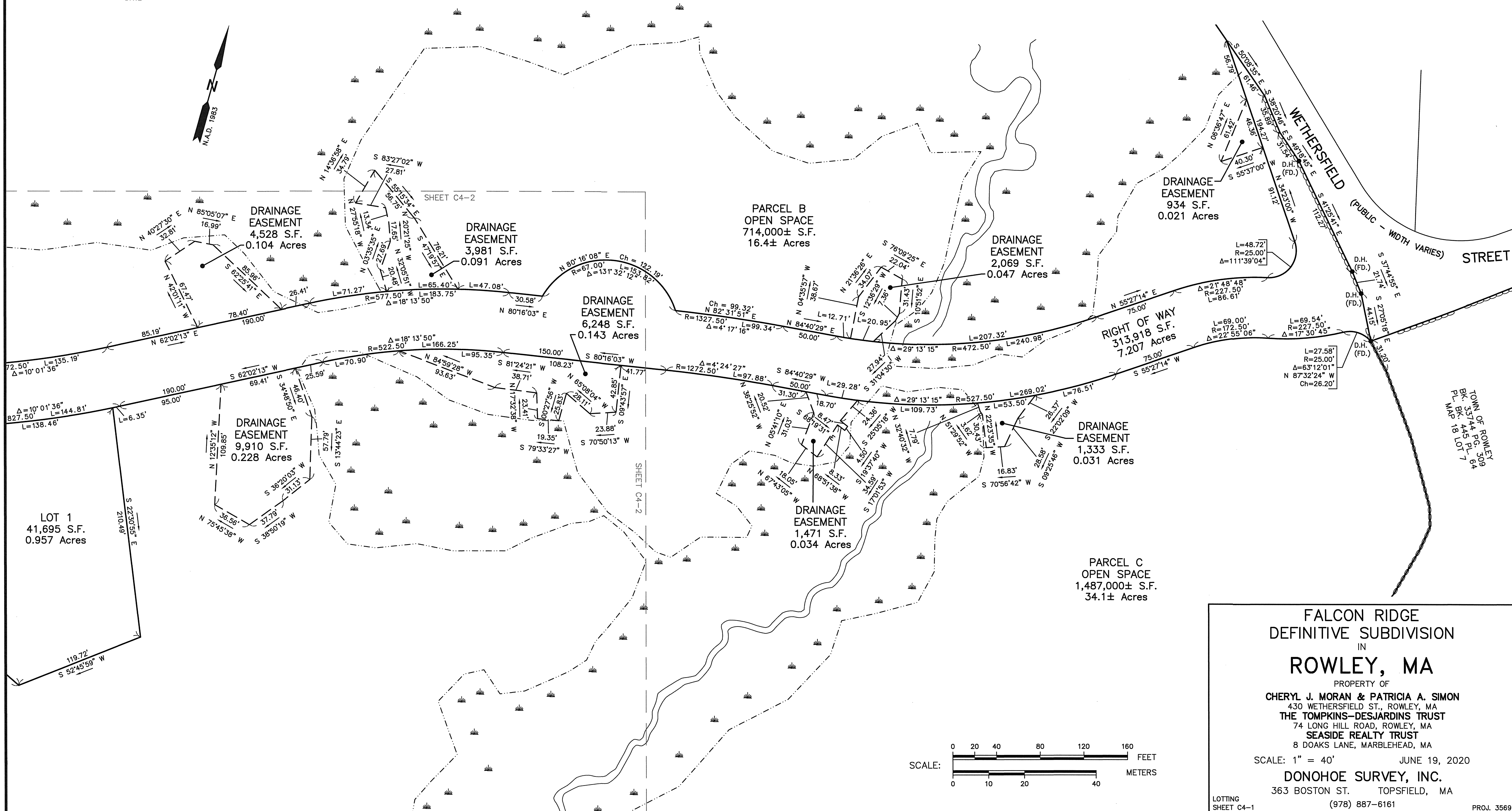
6/19/20

DATE

Chloe Davis



FOR REGISTRY USE ONLY



FALCON RIDGE
DEFINITIVE SUBDIVISION
IN
ROWLEY, MA

PROPERTY OF
CHERYL J. MORAN & PATRICIA A. SIMON
430 WETHERSFIELD ST., ROWLEY, MA
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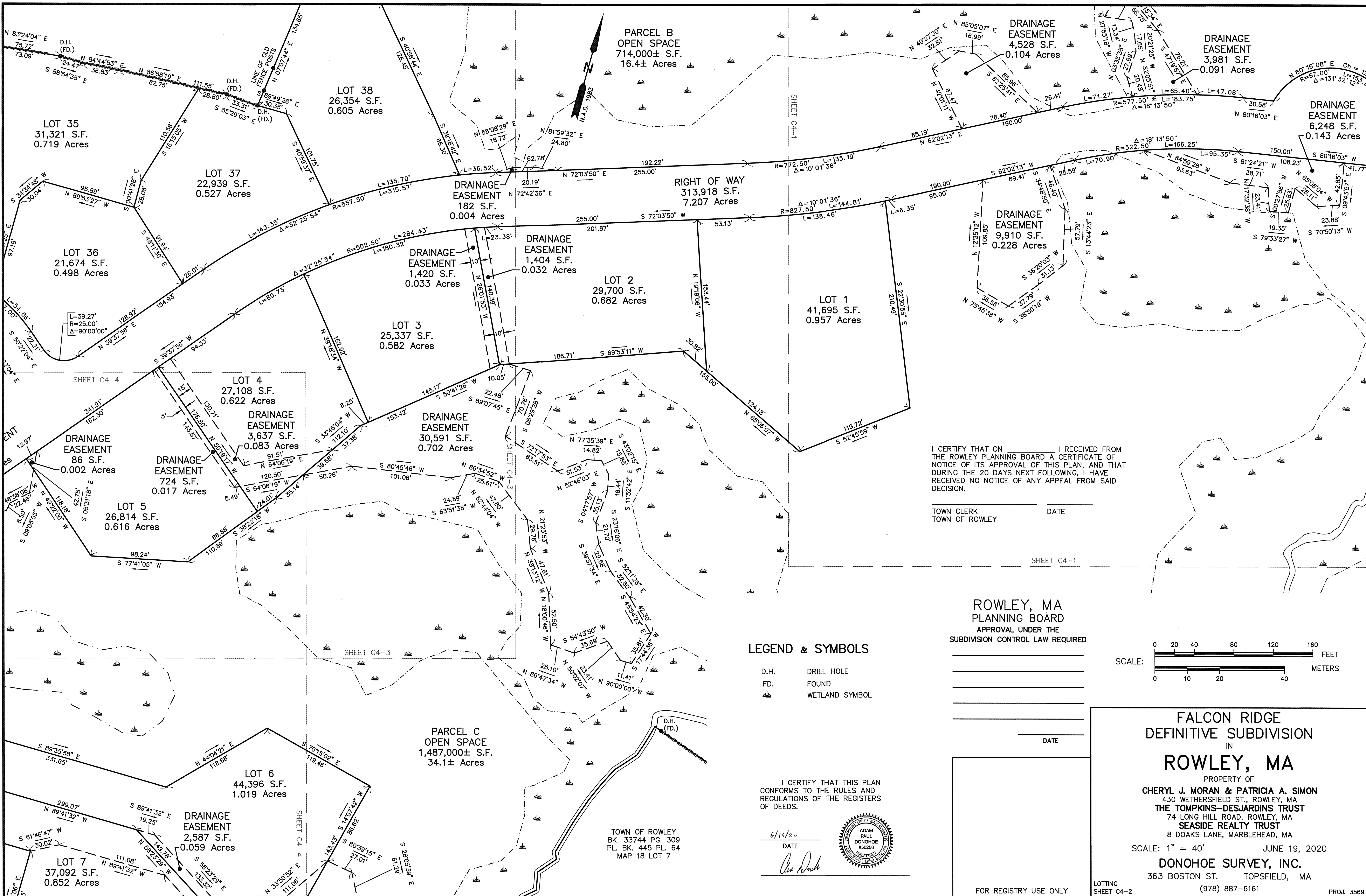
DONOHUE SURVEY, INC.

363 BOSTON ST. TOPSFIELD, MA

(978) 887-6161

LOTGING
SHEET C4-1

PROJ. 3569



I CERTIFY THAT ON _____ I RECEIVED FROM THE ROWLEY PLANNING BOARD A CERTIFICATE OF NOTICE OF ITS APPROVAL OF THIS PLAN, AND THAT DURING THE 20 DAYS NEXT FOLLOWING, I HAVE RECEIVED NO NOTICE OF ANY APPEAL FROM SAID DECISION.

TOWN CLERK _____ DATE _____
TOWN OF ROWLEY

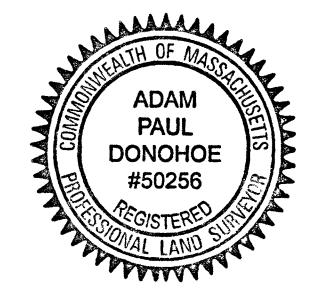
SHEET C4-1

LEGEND & SYMBOLS

- D.H. DRILL HOLE
- FD. FOUND
- WETLAND SYMBOL

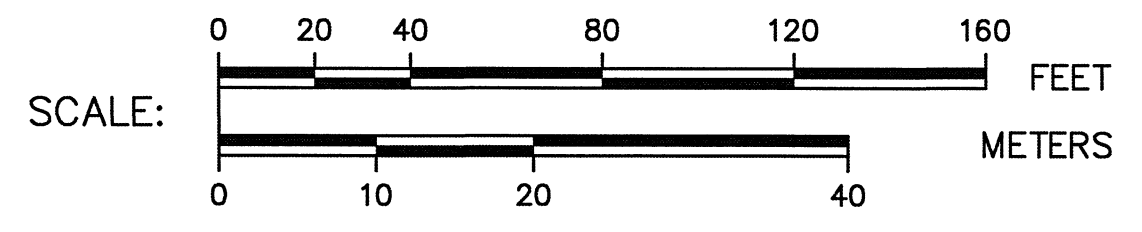
I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

6/19/20
DATE



ROWLEY, MA
PLANNING BOARD
APPROVAL UNDER THE
SUBDIVISION CONTROL LAW REQUIRED

DATE



**FALCON RIDGE
DEFINITIVE SUBDIVISION
IN
ROWLEY, MA**

PROPERTY OF
CHERYL J. MORAN & PATRICIA A. SIMON
430 WETHERSFIELD ST., ROWLEY, MA
THE TOMPKINS-DESJARDINS TRUST
74 LONG HILL ROAD, ROWLEY, MA
SEASIDE REALTY TRUST
8 DOAKS LANE, MARBLEHEAD, MA

SCALE: 1" = 40' JUNE 19, 2020

DONOHUE SURVEY, INC.
363 BOSTON ST. TOPSFIELD, MA
(978) 887-6161

LOTGING
SHEET C4-2

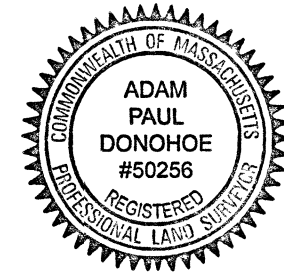
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PROJ. 3569

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OF DEEDS.

6/19/20
DATE

Adam Paul Donohoe



SCALE: 0 20 40 80 120 160 FEET
0 10 20 40 METERS

LEGEND & SYMBOLS

D.H. DRILL HOLE
FD. FOUND
WETLAND SYMBOL

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TOWN OF ROWLEY
DATE

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ROWLEY, MA
PLANNING BOARD
APPROVAL UNDER THE
SUBDIVISION CONTROL LAW REQUIRED

DATE

LUCY HERRICK REALTY TRUST
BK. 36301 PG. 478
MAP 11 LOT 4

DEBORAH A. ROSSE
BK. 14953 PG. 368
LOTS C & D PL. BK. 316 PL. 47
MAP 11 LOT 3-3

PARCEL B
OPEN SPACE
714,000± S.F.
16.4± Acres

EASEMENT
7,832 S.F.
0.180 Acres

LOT 32
39,859 S.F.
0.915 Acres
(INCLUDES EASEMENT)

LOT 33
24,062 S.F.
0.552 Acres

LOT 34
25,223 S.F.
0.579 Acres

LOT 35
31,321 S.F.
0.719 Acres

LOT 37
22,939 S.F.
0.527 Acres

DRAINAGE
EASEMENT
182 S.F.
0.004 Acres

LOT 30
22,149 S.F.
0.508 Acres

RIGHT OF WAY
313,918 S.F.
7.207 Acres

LOT 36
21,674 S.F.
0.498 Acres

DRAINAGE
EASEMENT
1,420 S.F.
0.033 Acres

LOT 29
22,876 S.F.
0.525 Acres

LOT 49
20,224 S.F.
0.464 Acres

LOT 39
20,037 S.F.
0.460 Acres

LOT 3
25,337 S.F.
0.582 Acres

LOT 28
21,272 S.F.
0.488 Acres

LOT 48
20,040 S.F.
0.460 Acres

LOT 40
23,925 S.F.
0.549 Acres

DRAINAGE EASEMENT
1,756 S.F.
0.040 Acres

DRAINAGE
EASEMENT
86 S.F.
0.002 Acres

DRAINAGE
EASEMENT
724 S.F.
0.017 Acres

LOT 4
27,108 S.F.
0.622 Acres

DRAINAGE
EASEMENT
30,591 S.F.
0.702 Acres

LOT 27
24,388 S.F.
0.560 Acres

LOT 47
21,203 S.F.
0.487 Acres

LOT 5
26,814 S.F.
0.616 Acres

PARCEL C
OPEN SPACE
1,487,000± S.F.
34.1± Acres

FALCON RIDGE DEFINITIVE SUBDIVISION IN ROWLEY, MA

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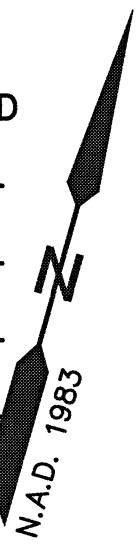
363 BOSTON ST. TOPSFIELD, MA

LOTGING
SHEET C4-3

(978) 887-6161

PROJ. 3569

ROWLEY, MA
PLANNING BOARD
APPROVAL UNDER THE
SUBDIVISION CONTROL LAW REQUIRED



DATE

THE TOMPKINS-DESJARDINS TRUST
BK. 13084 PG. 275
MAP 9 LOT 23

LOT 26
23,731 S.F.
0.545 Acres

LOT 24
26,273 S.F.
0.603 Acres

LOT 23
34,138 S.F.
0.784 Acres

PARCEL D
OPEN SPACE
69,620 S.F.
1.598 Acres

LOT 27
24,388 S.F.
0.560 Acres

LOT 25
22,127 S.F.
0.508 Acres

LOT 22
23,350 S.F.
0.536 Acres

LOT 21
25,426 S.F.
0.584 Acres

LOT 28
21,272 S.F.
0.488 Acres

LOT 20
23,447 S.F.
0.538 Acres

LOT 47
21,203 S.F.
0.487 Acres

LOT 46
22,676 S.F.
0.521 Acres

LOT 45
25,751 S.F.
0.591 Acres

LOT 44
23,912 S.F.
0.549 Acres

LOT 43
24,877 S.F.
0.571 Acres

LOT 48
20,040 S.F.
0.460 Acres

LOT 41
25,037 S.F.
0.575 Acres

LOT 42
23,418 S.F.
0.538 Acres

RIGHT OF WAY
313,918 S.F.
7.207 Acres

LOT 40
23,925 S.F.
0.549 Acres

LOT 8
21,815 S.F.
0.501 Acres

LOT 10
23,202 S.F.
0.533 Acres

DRAINAGE EASEMENT
1,756 S.F.
0.040 Acres

DRAINAGE EASEMENT
15,316 S.F.
0.352 Acres

LOT 7
37,092 S.F.
0.852 Acres

LOT 9
33,698 S.F.
0.774 Acres

DRAINAGE EASEMENT
86 S.F.
0.002 Acres

DRAINAGE EASEMENT
724 S.F.
0.017 Acres

LOT 5
26,814 S.F.
0.616 Acres

LOT 4
27,108 S.F.
0.622 Acres

DRAINAGE EASEMENT
3,637 S.F.
0.083 Acres

LOT 6
44,396 S.F.
1.019 Acres

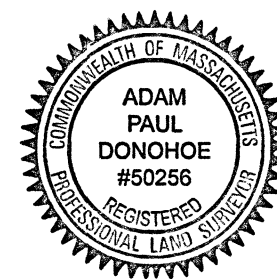
DRAINAGE EASEMENT
2,587 S.F.
0.059 Acres

DRAINAGE EASEMENT
27,195 S.F.
0.624 Acres

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6/19/20
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Adam Paul Donohoe



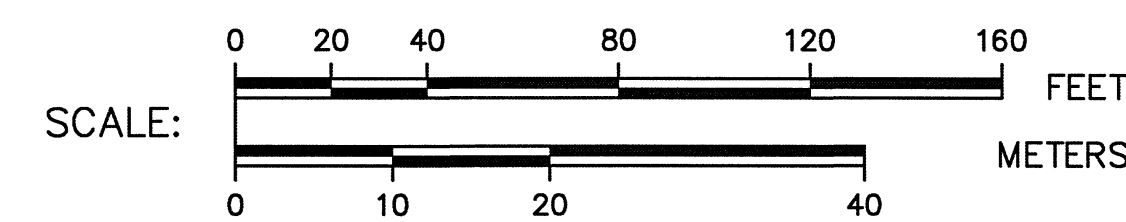
LEGEND & SYMBOLS

- | | |
|------|----------------|
| D.H. | DRILL HOLE |
| FD. | FOUND |
| | WETLAND SYMBOL |

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TOWN CLERK
TOWN OF ROWLEY

DATE



FALCON RIDGE
DEFINITIVE SUBDIVISION
IN
ROWLEY, MA

PROPERTY OF
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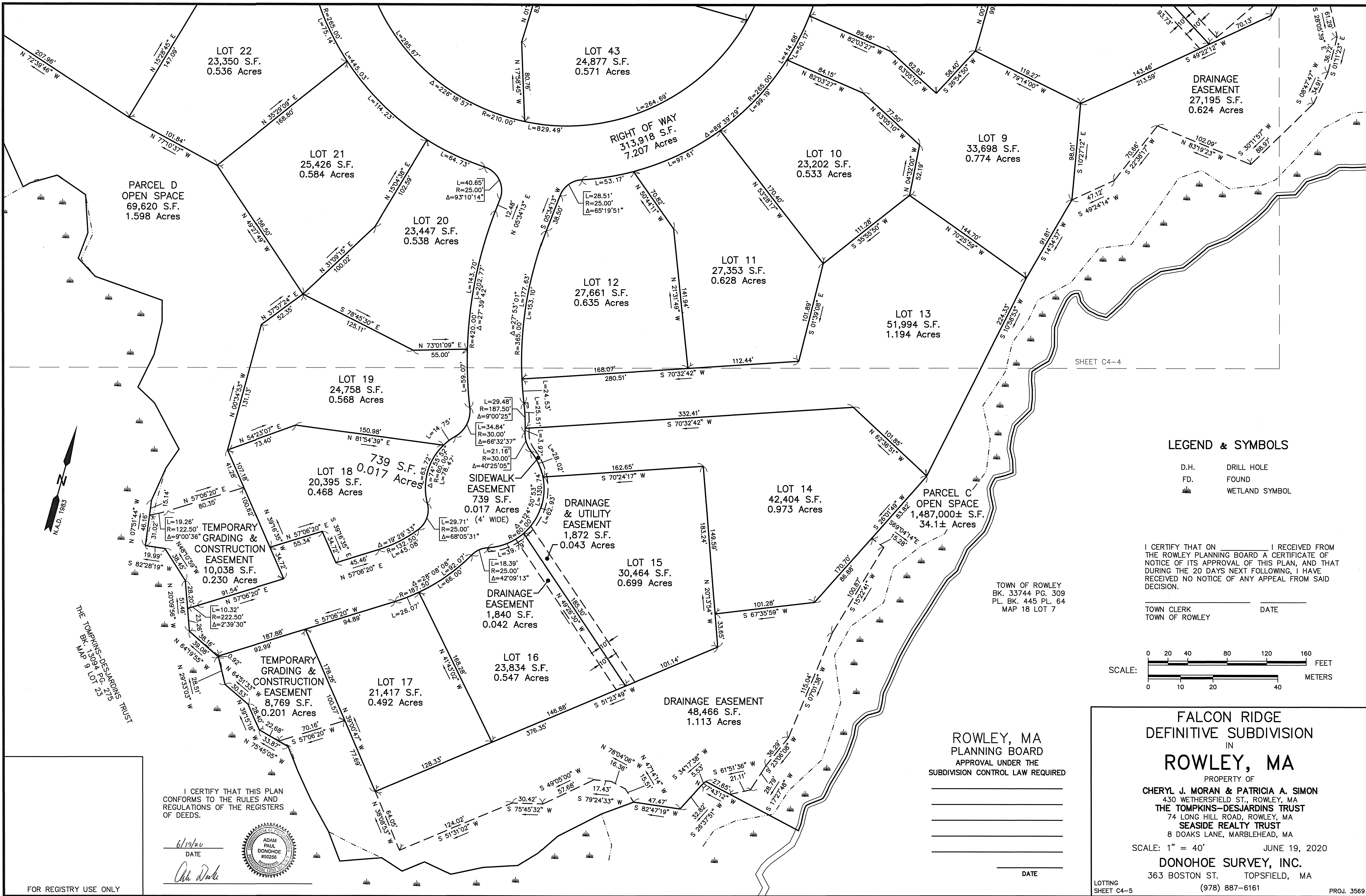
SCALE: 1" = 40' JUNE 19, 2020

DONOHUE SURVEY, INC.
363 BOSTON ST. TOPSFIELD, MA
(978) 887-6161

LOTGING
SHEET C4-4

PROJ. 3569

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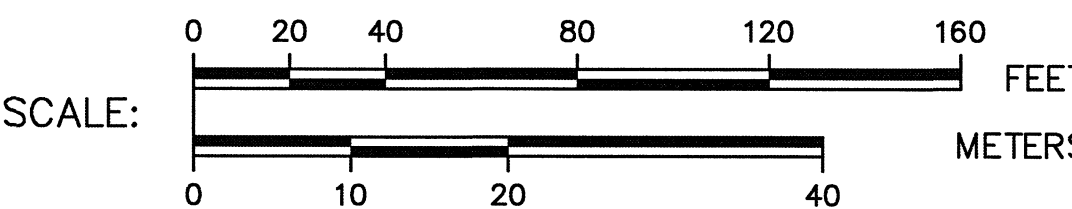


LEGEND & SYMBOLS

- D.H. DRILL HOLE
- FD. FOUND
- WETLAND SYMBOL

I CERTIFY THAT ON _____ I RECEIVED FROM THE ROWLEY PLANNING BOARD A CERTIFICATE OF NOTICE OF ITS APPROVAL OF THIS PLAN, AND THAT DURING THE 20 DAYS NEXT FOLLOWING, I HAVE RECEIVED NO NOTICE OF ANY APPEAL FROM SAID DECISION.

TOWN CLERK _____ DATE _____
TOWN OF ROWLEY



ROWLEY, MA
PLANNING BOARD
APPROVAL UNDER THE
SUBDIVISION CONTROL LAW REQUIRED

DATE _____

FALCON RIDGE
DEFINITIVE SUBDIVISION
IN
ROWLEY, MA

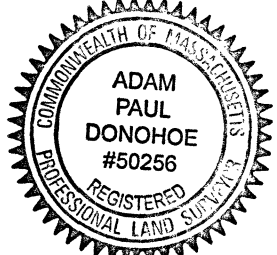
PROPERTY OF
CHERYL J. MORAN & PATRICIA A. SIMON
430 WETHERSFIELD ST., ROWLEY, MA
THE TOMPKINS-DESJARDINS TRUST
74 LONG HILL ROAD, ROWLEY, MA
SEASIDE REALTY TRUST
8 DOAKS LANE, MARBLEHEAD, MA

SCALE: 1" = 40' JUNE 19, 2020

DONOHUE SURVEY, INC.
363 BOSTON ST. TOPSFIELD, MA
(978) 887-6161

I CERTIFY THAT THIS PLAN
CONFORMS TO THE RULES AND
REGULATIONS OF THE REGISTERS
OF DEEDS.

6/19/20
DATE



Adam Donohue

FOR REGISTRY USE ONLY

I CERTIFY THAT THIS PLAN CONFORMS
TO THE RULES AND REGULATIONS OF
THE REGISTERS OF DEEDS.*Thad D Berry*

DATE: 1/16/2020

STANDARD SYMBOLS

	STREET LIGHT
	UTILITY POLE
	TEG LINE
	FLARED END SECTION
	DRAIN LINE
	CLEAN OUT / DRAINAGE SYSTEM INSP. PORT / DOWN SPOUT
	CATCH BASIN
	CATCH BASIN - DOUBLE INLET
	REACH CATCH BASIN
	DRAIN MANHOLE
	WATER LINE
	WELL
	GATE VALVE
	WATER SERVICE
	HYDRANT
	CONTOUR
	RETAINING WALL
	GAS VALVE
	GAS SERVICE
	GAS LINE
	EROSION CONTROL BARRIER
	EROSION CONTROL SEMI IMPERIOUS BARRIER
	DRAINAGE SHALE SEDIMENT TRAP
	TREE PROTECTION FENCE
	TREE AND LANDSCAPE FEATURES

NOTE:

- THIS IS NOT INTENDED TO BE A COMPLETE LIST OF ALL ABBREVIATIONS AND SYMBOLS USED IN THESE DRAWINGS. IT IS ONLY A GUIDE TO THE MOST COMMON ONES USED. THE ABSENCE OF AN ABBREVIATION OR SYMBOL FROM THIS LIST SHALL NOT RELIEVE THE CONTRACTOR OF HIS CONTRACTUAL OBLIGATIONS.
- LINE TYPES USED FOR VARIOUS SYMBOLS ON THESE DRAWINGS MAY VARY FROM THOSE INDICATED ON THIS SHEET IN ORDER TO PROVIDE CLARITY ON THE DRAWING OR TO DISTINGUISH BETWEEN EXISTING AND PROPOSED ITEMS.
- LINE TYPES USED FOR VARIOUS SYMBOLS ON THESE DRAWINGS MAY VARY FROM THOSE INDICATED ON THIS SHEET IN ORDER TO PROVIDE CLARITY ON THE DRAWING OR TO DISTINGUISH BETWEEN EXISTING AND PROPOSED ITEMS.

STANDARD ABBREVIATIONS

AC.	ACRE / ASBESTOS CEMENT	RCP	REINFORCED CONCRETE PIPE
AC- FT	ACRE-FOOT	RD	ROAD
CB	CATCH BASIN / CONCRETE BOUND	R.O.W.	RIGHT OF WAY
CL	CENTERLINE	RTE	ROUTE
CMP	CORRUGATED METAL PIPE	S.	SEWER SLOPE
C.O.	CLEAN OUT	S.B.	STONE BOUND
CONC.	CONCRETE	SERV.	SERVICE
CPP	CORRUGATED PLASTIC PIPE	SEW.	SEWER
CU. FT.	CUBIC FEET	SF	SQUARE FEET
CU. IN.	CUBIC INCHES	SMH	SEWER MANHOLE
CY	CUBIC YARD	SQ. FT.	SQUARE FEET
D.	DIAMETER DRAIN	T.	THICK, THICKNESS / TEE / TELEPHONE
D.H.	DRILL HOLE	TBR	TO BE REMOVED
D.I.	DROP INLET / DUCTILE IRON	TEL.	TELEPHONE
DIA.	DIAMETER	T.O.W.	TOP OF WALL
DMH	DRAIN MANHOLE	T.P.	TEST PIT
D.S.	DOWNSPOUT	TYP.	TYPICAL
F.D.	FLOOR DRAIN	U.G.	UNDERGROUND
FDN	FOUNDATION	VEG.	VEGETATION, VEGETATED
F.G.	FINISHED GRADE	VOL.	VOLUME
FPS	FEET PER SECOND	W.	WIDTH WATER
FT	FOOT, FEET	X-S	CROSS SECTION
HYD.	HYDRANT	Y.	YARD, YARDS
INV.	INVERT	YD	YARD, YARDS
I.P.	IRON PIN / IRON PIPE	Ø	CENTERLINE
L.	LENGTH	"	FOOT, FEET
M.H.	MANHOLE	"	INCH, INCHES
N/A	NOT ALLOWED / NOT APPLICABLE	#	NUMBER
N/F	NOW OR FORMERLY	⊥	PERPENDICULAR
NGVD	NATIONAL GEODETIC VERTICAL	PL	PROPERTY LINE
DATUM	NOT TO SCALE	PS	STEEL PLATE SQUARE
N.T.S.	NOT TO SCALE	RA	STEEL ANGLE
PERF.	PERFORATED		
PL	PROPERTY LINE		
PPVC	PERFORATED POLYVINYL CHLORIDE		
PVC	POLYVINYL CHLORIDE		
R.	RADIUS		

NRCS SOILS

MAP UNIT SYMBOL	MAP UNIT NAME	HYDROLOGIC SOIL GROUP
12A	MAYBID SILT LOAM 0 TO 3 PERCENT SLOPES	C/D
21A	WALPOLE VARIANT FINE SANDY LOAM 0 TO 3 PERCENT SLOPES	C/D
228A	BUXTON SILT LOAM 0 TO 3 PERCENT SLOPES	D
228B	BUXTON SILT LOAM 3 TO 8 PERCENT SLOPES	D
228C	BUXTON SILT LOAM 8 TO 15 PERCENT SLOPES	D
253C	HINKLEY LOAMY SAND 8 TO 15 PERCENT SLOPES	A
255A	WINDSOR LOAMY SAND 0 TO 3 PERCENT SLOPES	A
255B	WINDSOR LOAMY SAND 3 TO 8 PERCENT SLOPES	A
256A	DEERFIELD LOAMY FINE SAND 0 TO 3 PERCENT SLOPES	A
258A	AMOSTOWN FINE SANDY LOAM 0 TO 3 PERCENT SLOPES	C/D
258B	AMOSTOWN FINE SANDY LOAM 3 TO 8 PERCENT SLOPES	C/D
300C	MONTAUK FINE SANDY LOAM 8 TO 15 PERCENT SLOPES	C
301D	MONTAUK FINE SANDY LOAM (VERY STONY) 15 TO 35 PERCENT SLOPES	C
306C	PAXTON FINE SANDY LOAM (VERY STONY) 8 TO 15 PERCENT SLOPES	C
714B	MELROSE FINE SANDY LOAM 3 TO 8 PERCENT SLOPES	C
719B	SUFFIELD SILT LOAM 3 TO 8 PERCENT SLOPES	C

NOTE:

THE APPLICANT WILL PLANT A
TOTAL OF 174 TREES. FINAL TREE
PLANTING LOCATIONS SHALL BE
DETERMINED/COORDINATED WITH
THE ROWLEY PLANNING BOARD
AT THE TIME OF PLANTING

TREE TOTAL

ROAD NAME	# OF TREES
TAYLOR LANE	153
BROOK ROAD	21

TOTAL # OF TREES 174

OPEN SPACE 52± ACRES

SCALE BAR 0 150' 300' 450'
SCALE: 1" = 150'

DATE:

project title:
FALCON RIDGE SUBDIVISION

prepared for applicant:

TAYLOR LANE LLC
357 NORTH STREET
GEORGETOWN, MA 01833

parcel identification:

map: 9 & 12

block: N.A.

parcel: N.A.

lot: 2, 3, 4, & 23

revisions

no.	date	description
0	1/16/2020	ISSUED FOR REVIEW
1	4/21/20	REVIEW COMMENTS
2	6/21/20	REVIEW COMMENTS

plan submission

O.S.R.D PLANS

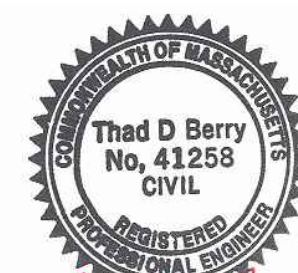
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scale: 1" = 150'

job no: 2017-22

DEP no: 063-0692 O.R.A.D.

DEP no: 063-0693 N.O.I.



drawing name

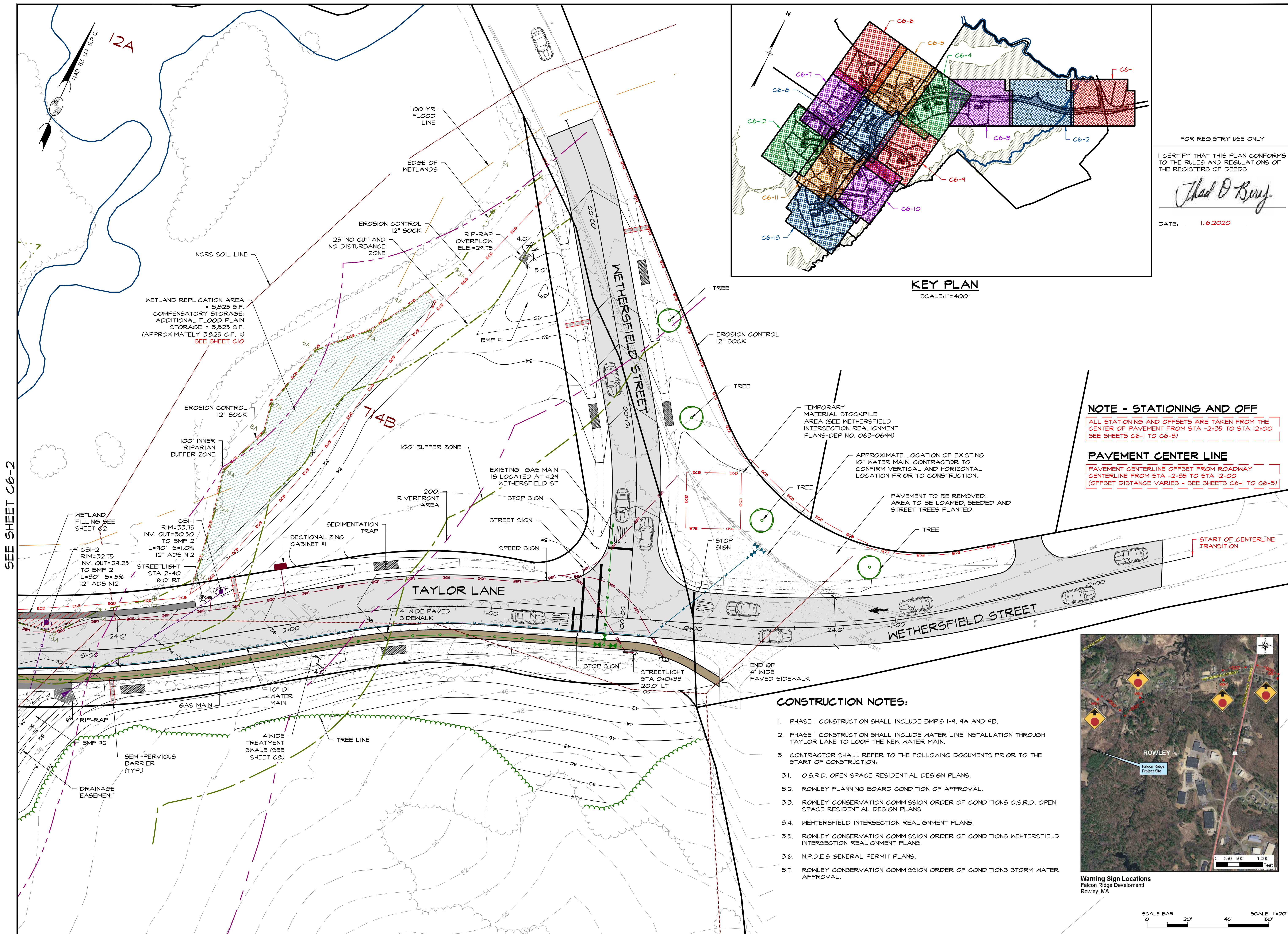
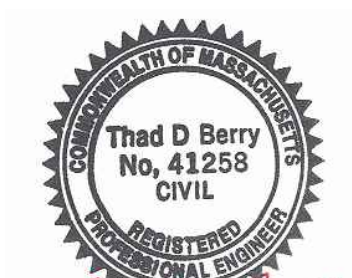
OVERALL SITE
PLAN, NRCS
SOIL DATA
AND SITE GRADING
NOTES

drawing number

C5

sheet 17 of 42

no.	date	description
0	1.16.2020	ISSUED FOR REVIEW
1	4.27.20	REVIEW COMMENTS
2	6.21.20	REVIEW COMMENTS



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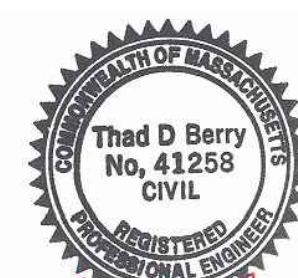
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scale: 1" = 20'

job no: 2017-22

DEP no: 063-0692 O.R.A.D.

DEP no: 063-0693 N.O.I.



drawing name

SITE GRADING,
DRAINAGE,
AND SWFP

drawing number

C6-2

sheet 19 of 42

NOTE:

SOILS BORINGS CONDUCTED BY GZA GEO-ENVIRONMENTAL, INC.
- MAY 21, 2018. LOCATIONS SHOWN ARE APPROXIMATE.DEPTH OF SOIL BORING #1 = 16'
DEPTH OF SOIL BORING #1 = 26'
DEPTH OF SOIL BORING #1 = 41'

WETLAND IMPACTS: CULVERT CROSSING

WETLAND FILLING AREA #1

FILL AREA = 411 S.F.

WETLAND FILLING AREA #2

FILL AREA = 1,385 S.F.

TOTAL FILL AREA = 1,796 S.F.

REPLICATION AREA = 2 X 1,796 = 3,592 S.F.

REPLICATION AREA PROVIDED = 3,690 S.F. - SEE SHEET C6-1 AND C10

BMP #6

BMP #6
INV. IN (BMP#6-H.W.#6-1)=34.00
INV. OUT (BMP#6-F.E.S.6-1)=33.95
64 ADS-PPVC L=17' S=2.9%
WEIR OVERFLOW ELEVATION=36.25
CREST LENGTH=10.0'
CREST BREADTH=3.0'

BMP #5

BMP #5
INV. IN (BMP#5-H.W.#5-1)=34.00
INV. OUT (BMP#5-F.E.S.5-1)=33.92
6" ADS-PPVC L=8' S=1.0%
WEIR OVERFLOW ELEVATION=36.25
CREST LENGTH=15.0'
CREST BREADTH=0.0'

BMP 4 DATA:

HW4-1
INV. = 29.00
HW3-2
L=5' S=4% 8" ADS N12HW4-2
WEIR OVER FLOW
ELEV. = 31.0 L=9'
INV. = 28.98
8" ADS N12

BMP 2 DATA:

FES2-1
INV. = 29.60
12" ADS N12OUTLET-2
INV. = 29.10
10" ADS N12FES2-2
INV. = 28.95
10" ADS N12HW1-1
INV. = 29.00
WEIR OVER FLOW
ELEV. = 32.0 L=9'
TO FES1-3

L=5.5' S=1.0% 6" ADS N12

BMP 3 DATA:

FES3-1
INV. = 29.40
6" ADS N12HW3-1
INV. = 29.50
TO FES2-1

L=10' S=5% 8" ADS N12

NOTE - STATIONING AND OFF

ALL STATIONING AND OFFSETS ARE TAKEN FROM THE
CENTER OF PAVEMENT FROM STA -2+35 TO STA 12+00
(SEE SHEETS C6-1 TO C6-5)

PAVEMENT CENTER LINE

PAVEMENT CENTERLINE OFFSET FROM ROADWAY
CENTERLINE FROM STA -2+35 TO STA 12+00
(OFFSET DISTANCE VARIES - SEE SHEETS C6-1 TO C6-5)

SEE SHEET C6-3

SEE SHEET C6-1

363 boston street, route 1
topsfield, ma 01983

**ROWLEY, MA
PLANNING BOARD**
APPROVAL UNDER THE
SUBDIVISION CONTROL
LAW REQUIRED

DATE: _____

project title: _____

FALCON RIDGE SUBDIVISION

prepared for applicant:

TAYLOR LANE LLC
357 NORTH STREET
GEORGETOWN, MA 01833

parcel identification:

map: 9 & 12

block: N.A.

parcel: N.A.

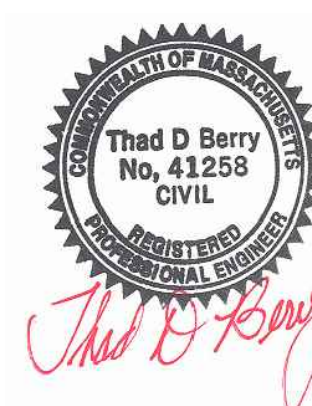
lot: 2, 3, 4, & 23

revisions		
no.	date	description
0	1.16.2020	ISSUED FOR REVIEW
1	4.27.20	REVIEW COMMENTS
2	6.21.20	REVIEW COMMENTS

plan submission

O.S.R.D PLANS

date: 1.16.2020
scale: 1" = 20'
job no: 2017-22
DEP no: 063-0692 O.R.A.D.
DEP no: 063-0693 N.O.I.



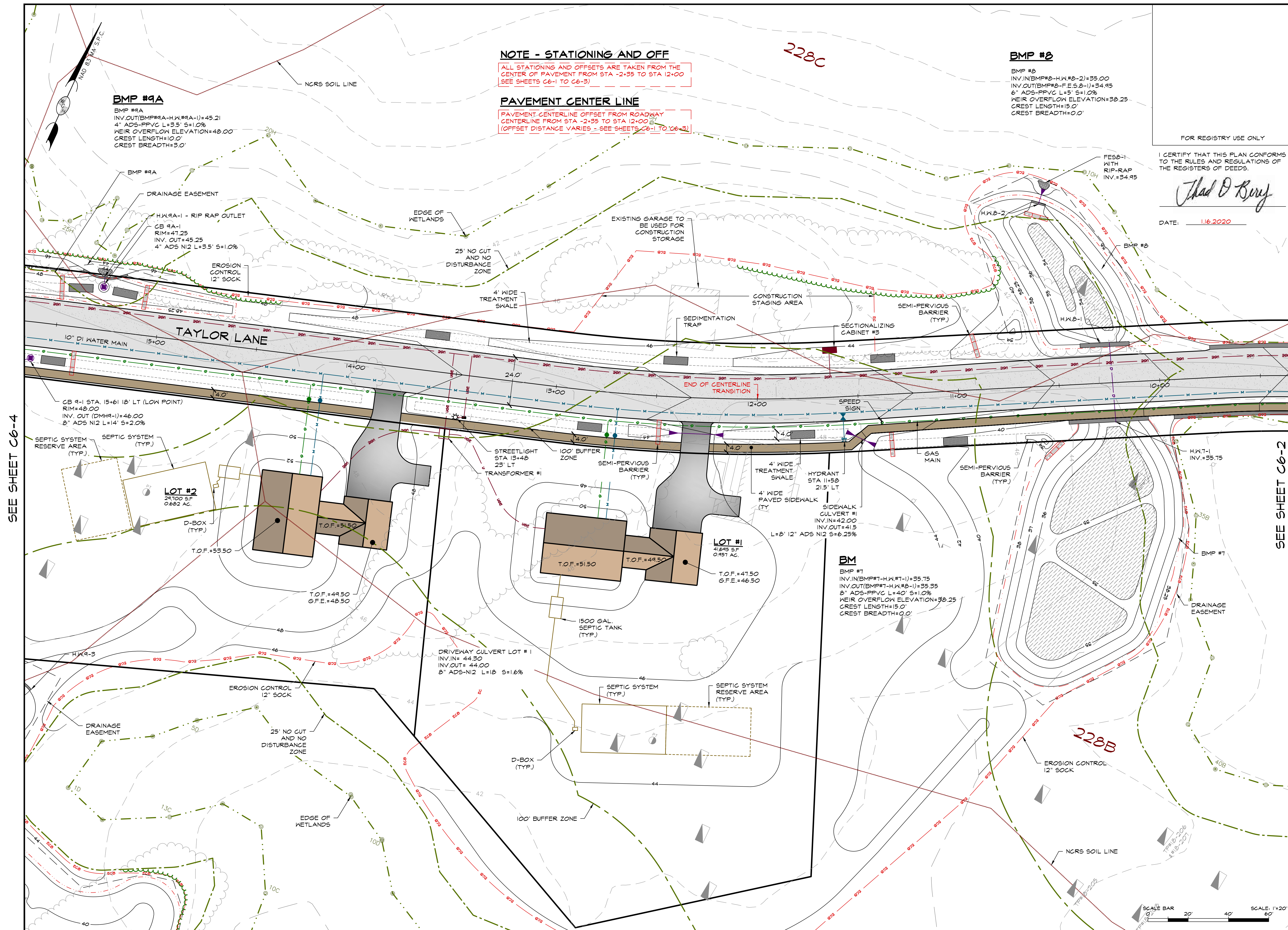
drawing name

SITE GRADING,
DRAINAGE,
AND SWPP

drawing number

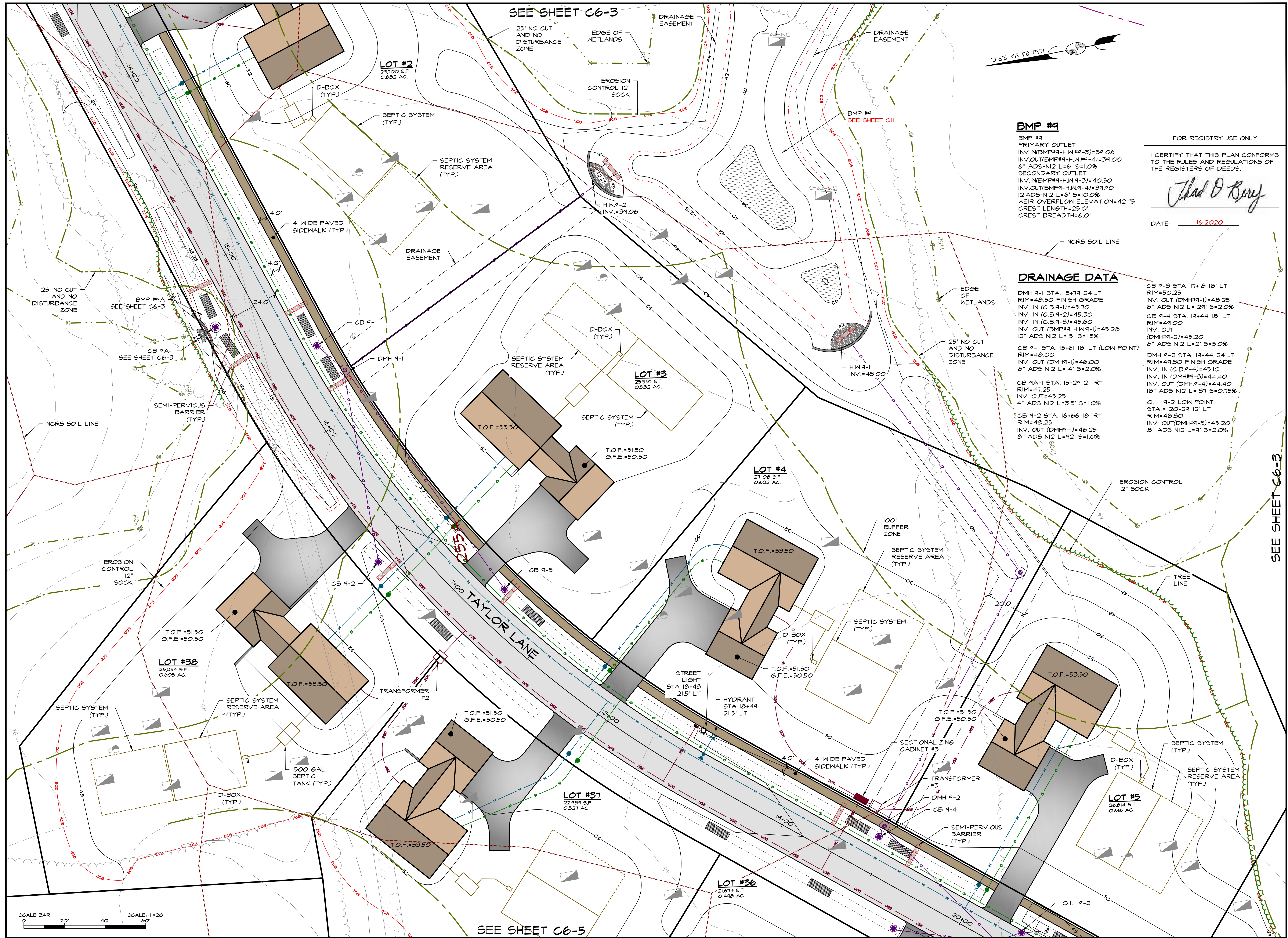
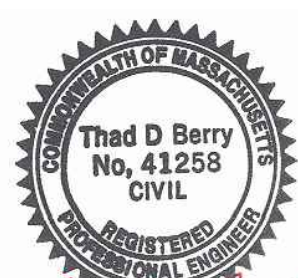
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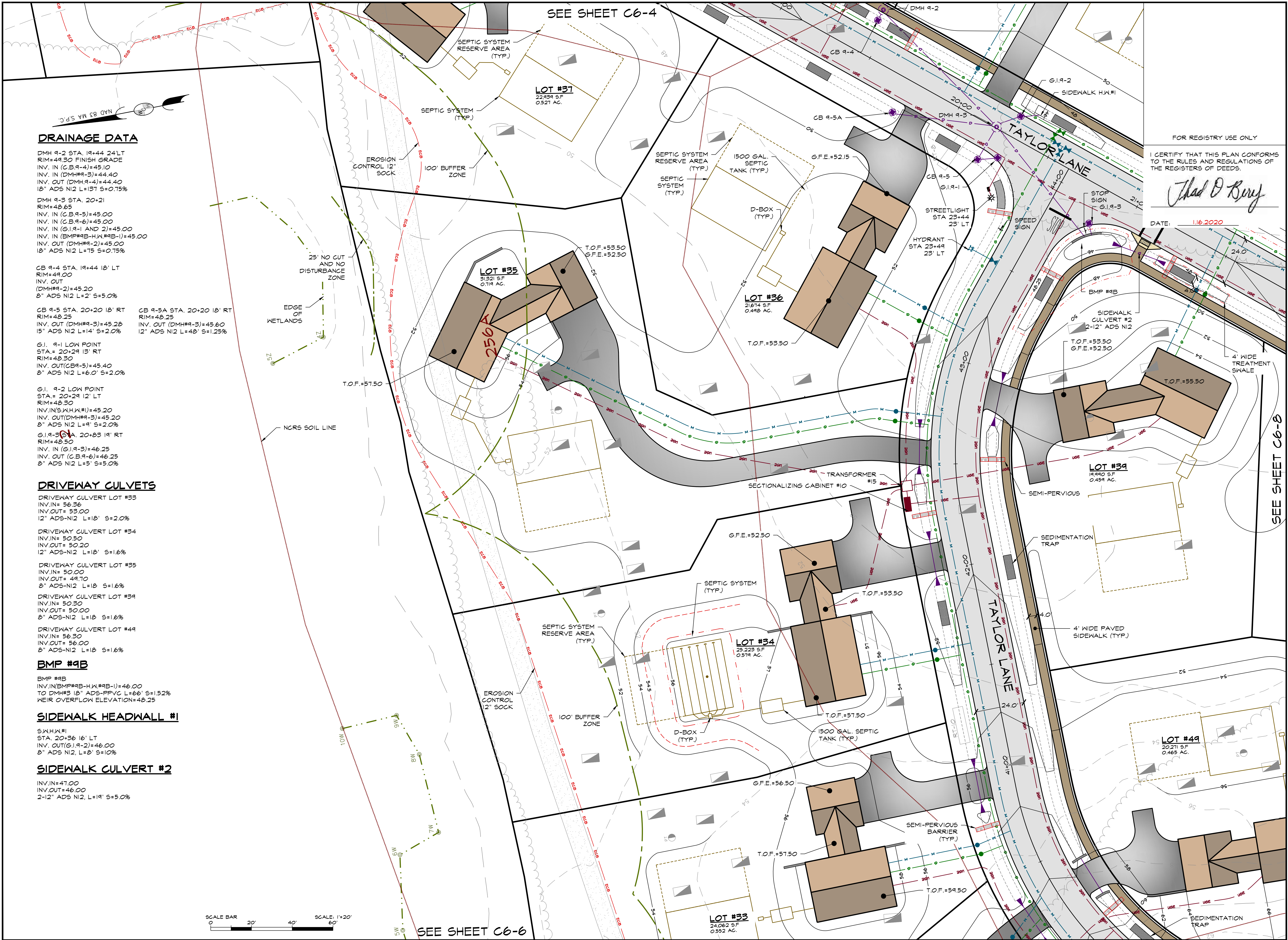
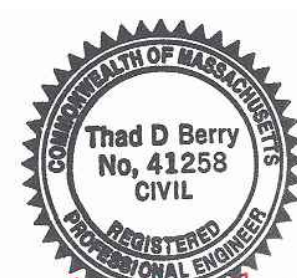
sheet 20 of 42



revisions

no.	date	description
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2	6/21/20	REVIEW COMMENTS





FOR REGISTRY USE ONLY

I CERTIFY THAT THIS PLAN CONFORMS
TO THE RULES AND REGULATIONS OF
THE REGISTERS OF DEEDS.

Thad D Berry

DATE: 1.16.2020

DATE: _____

project title:
FALCON RIDGE SUBDIVISION

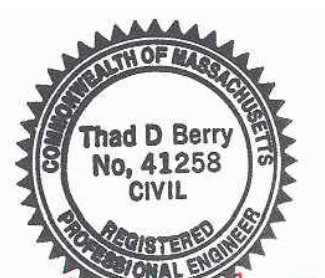
prepared for applicant:
TAYLOR LANE LLC
357 NORTH STREET
GEORGETOWN, MA 01833

parcel identification:
map: 9 & 12
block: N.A.
parcel: N.A.
lot: 2, 3, 4, & 23

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O.S.R.D PLANS

date: 1.16.2020
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Thad D Berry

drawing name

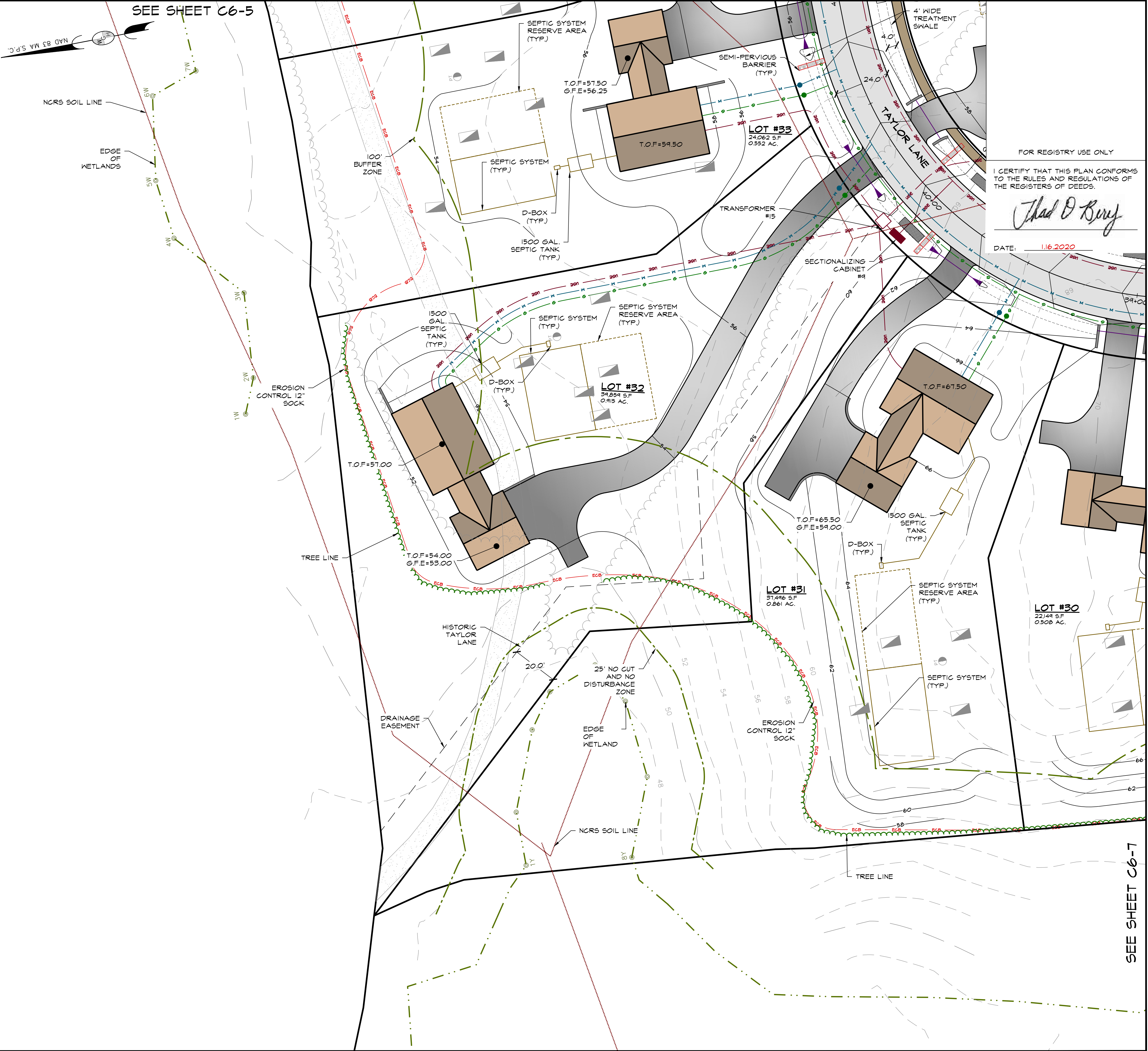
SITE GRADING,
DRAINAGE,
AND SWFP

drawing number

C6-6

sheet 23 of 42

SEE SHEET C6-5



DRIVEWAY CULVERTS

DRIVEWAY CULVERT LOT #30
INV.IN= 64.30
INV.OUT= 64.00
2-8" ADS-NI2 L=18' S=1.6%

DRIVEWAY CULVERT LOT #31
INV.IN= 59.00
INV.OUT= 58.64
2-10" ADS-NI2 L=18' S=2.0%

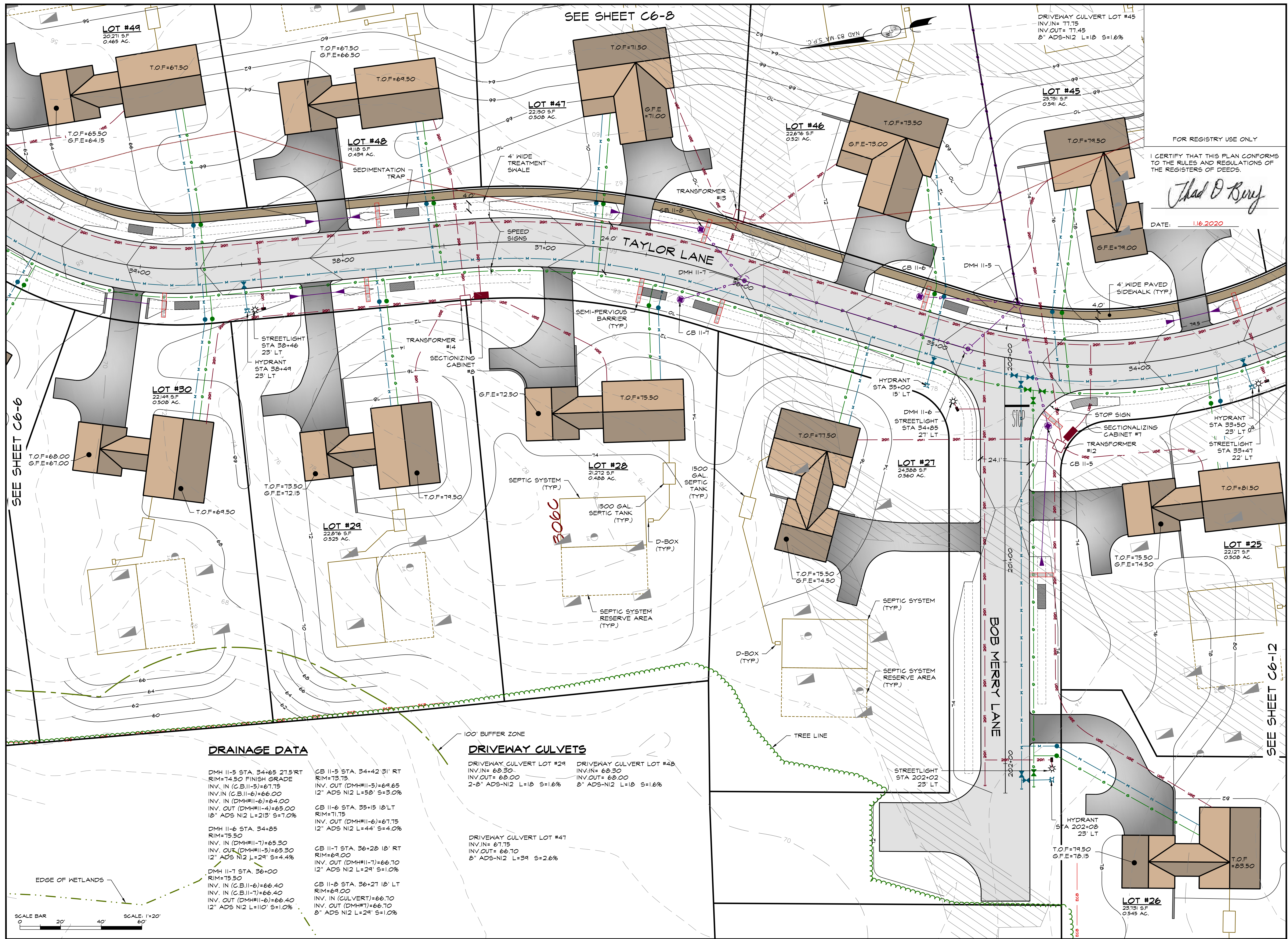
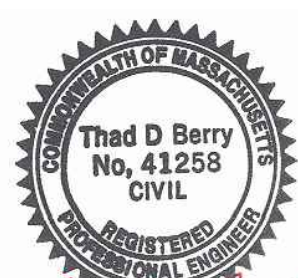
DRIVEWAY CULVERT LOT #32
INV.IN= 55.00
INV.OUT= 54.64
2-10" ADS-NI2 L=18' S=2.0%

DRIVEWAY CULVERT LOT #33
INV.IN= 56.07
INV.OUT= 55.75
2-10" ADS-NI2 L=20' S=1.67%

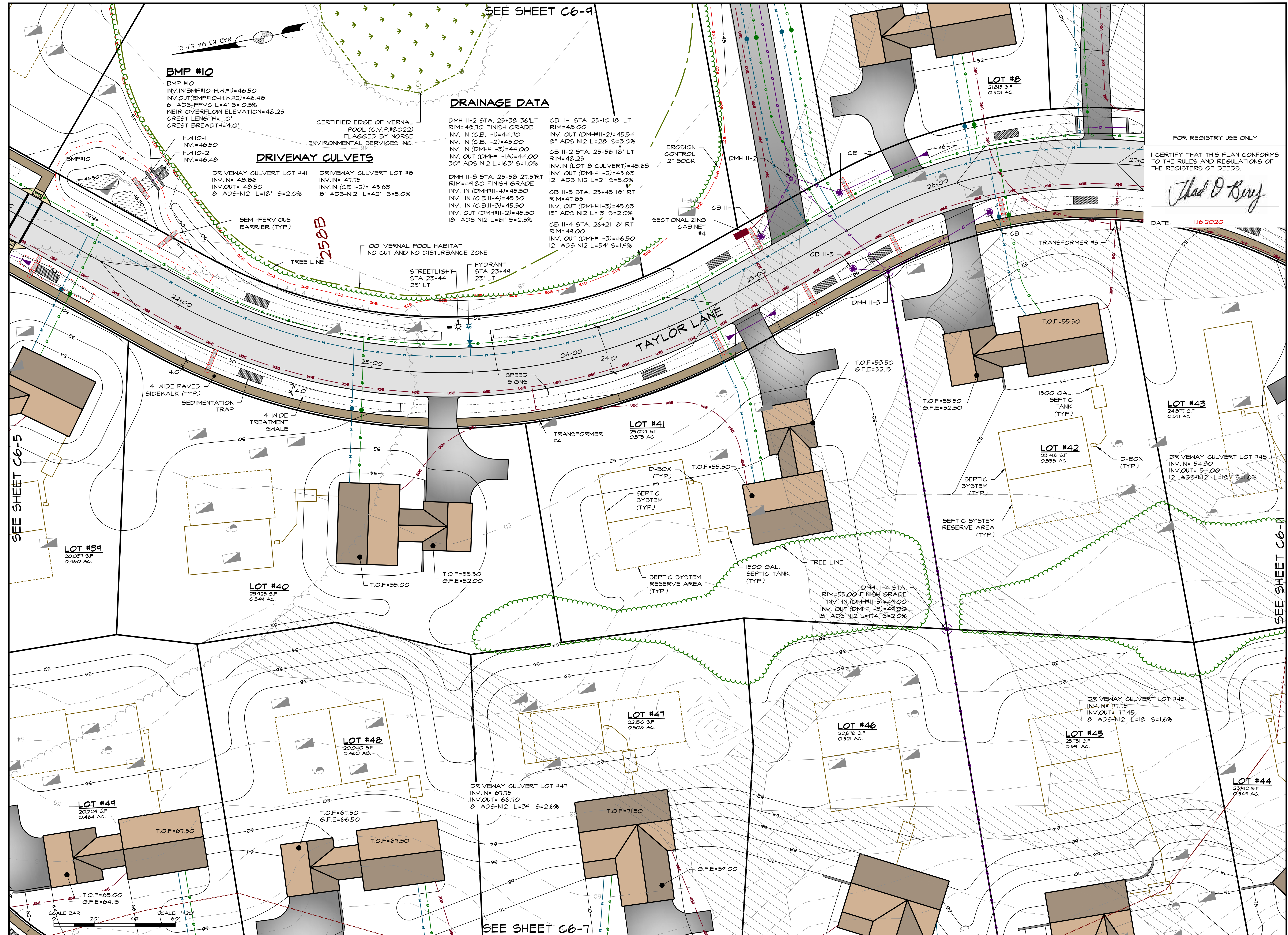
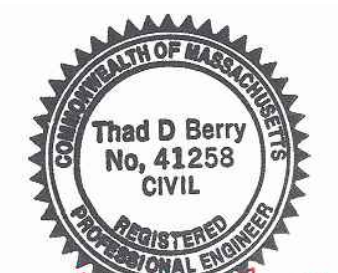


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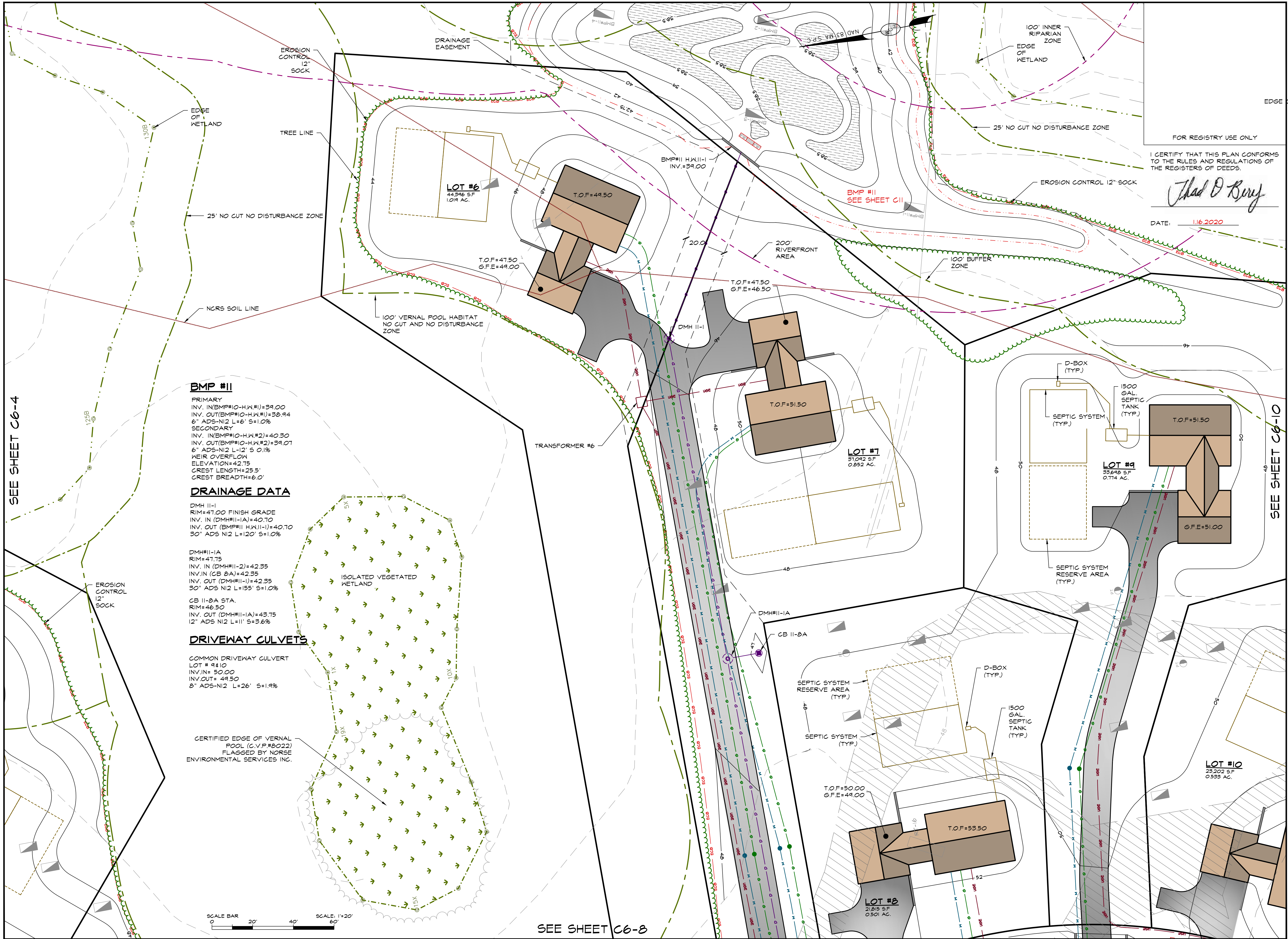
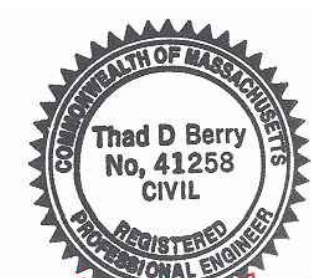


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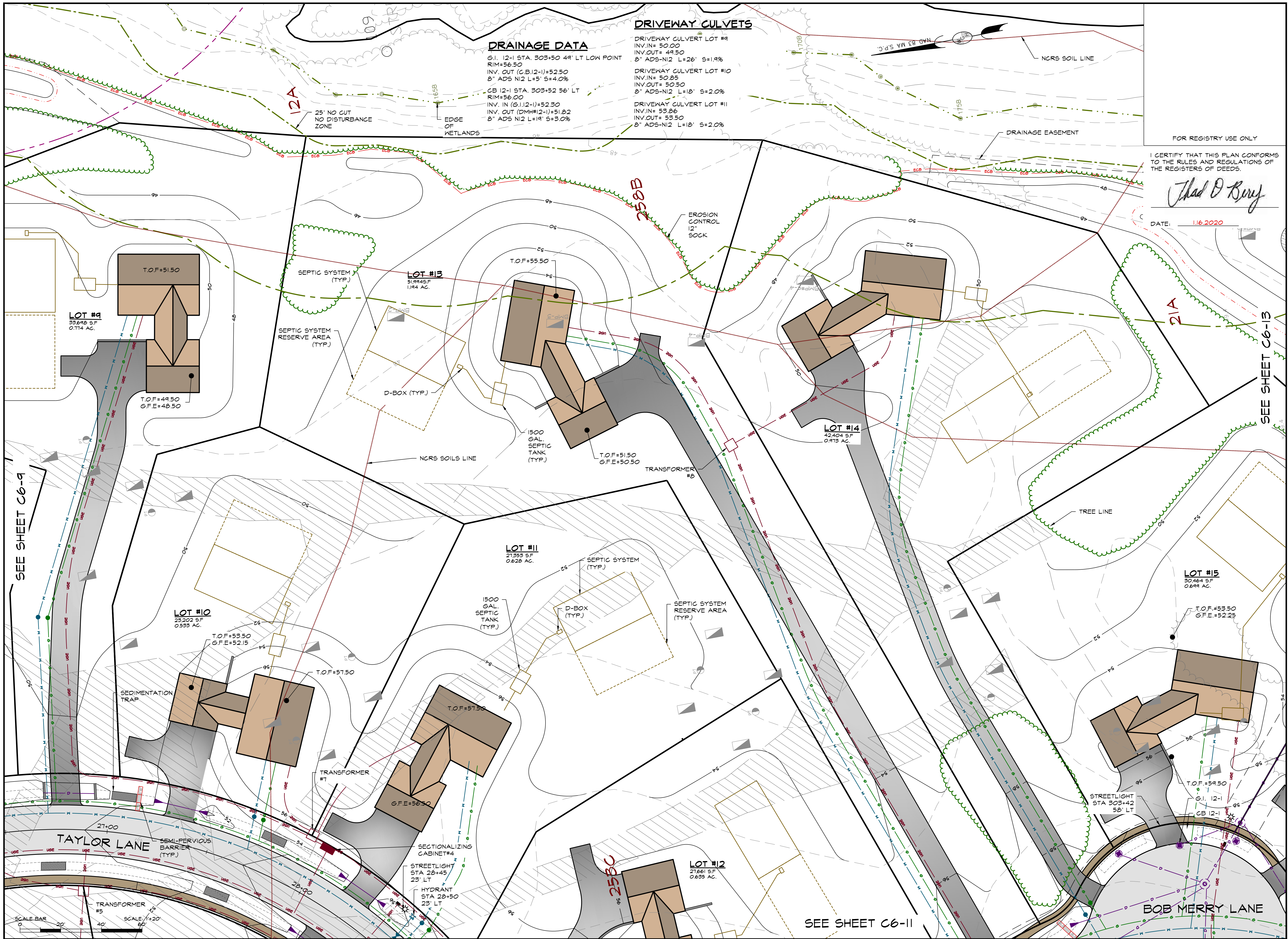
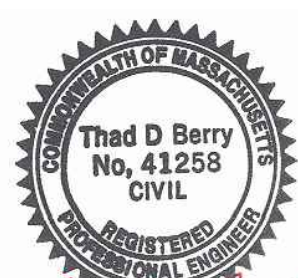
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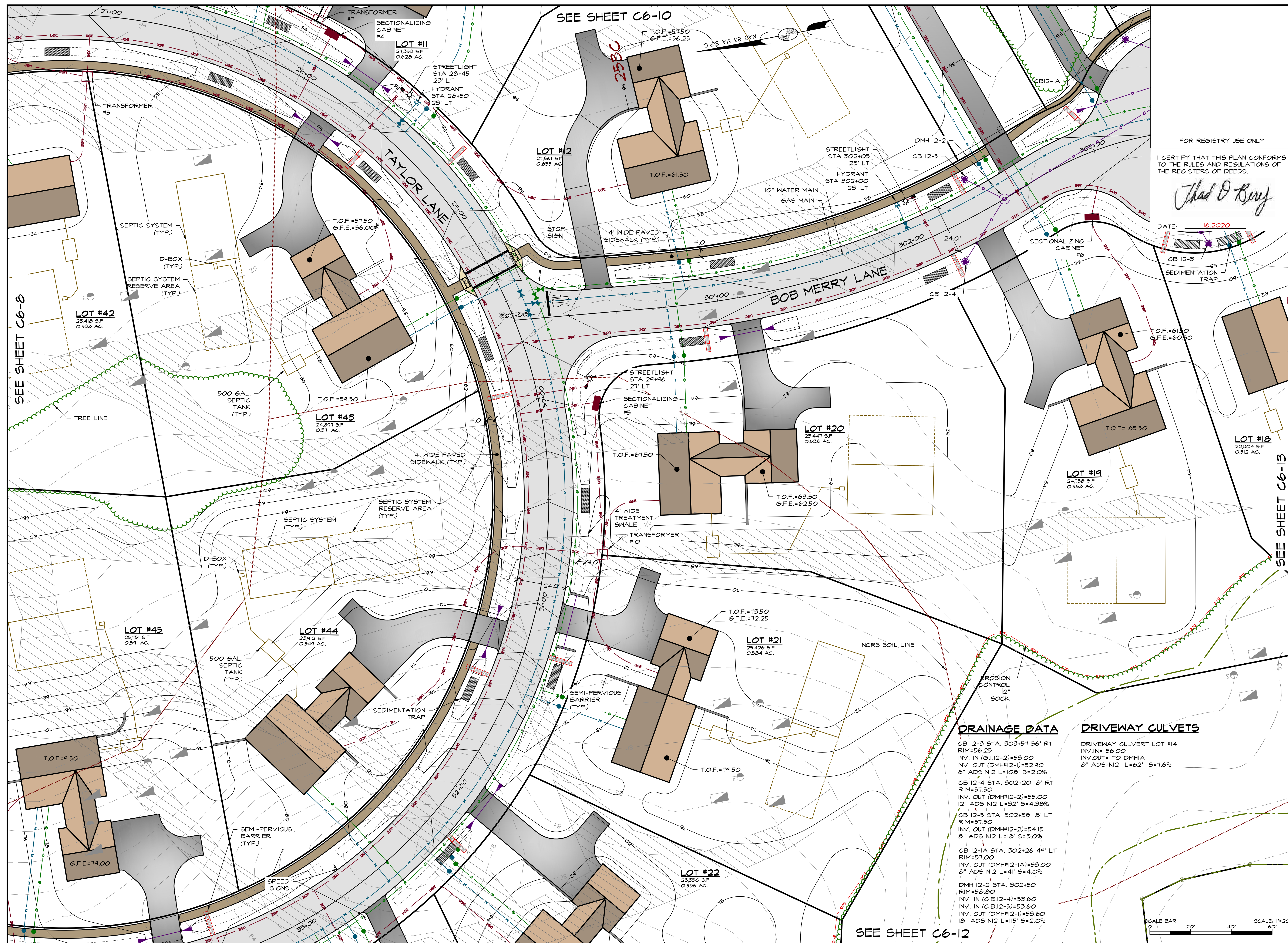
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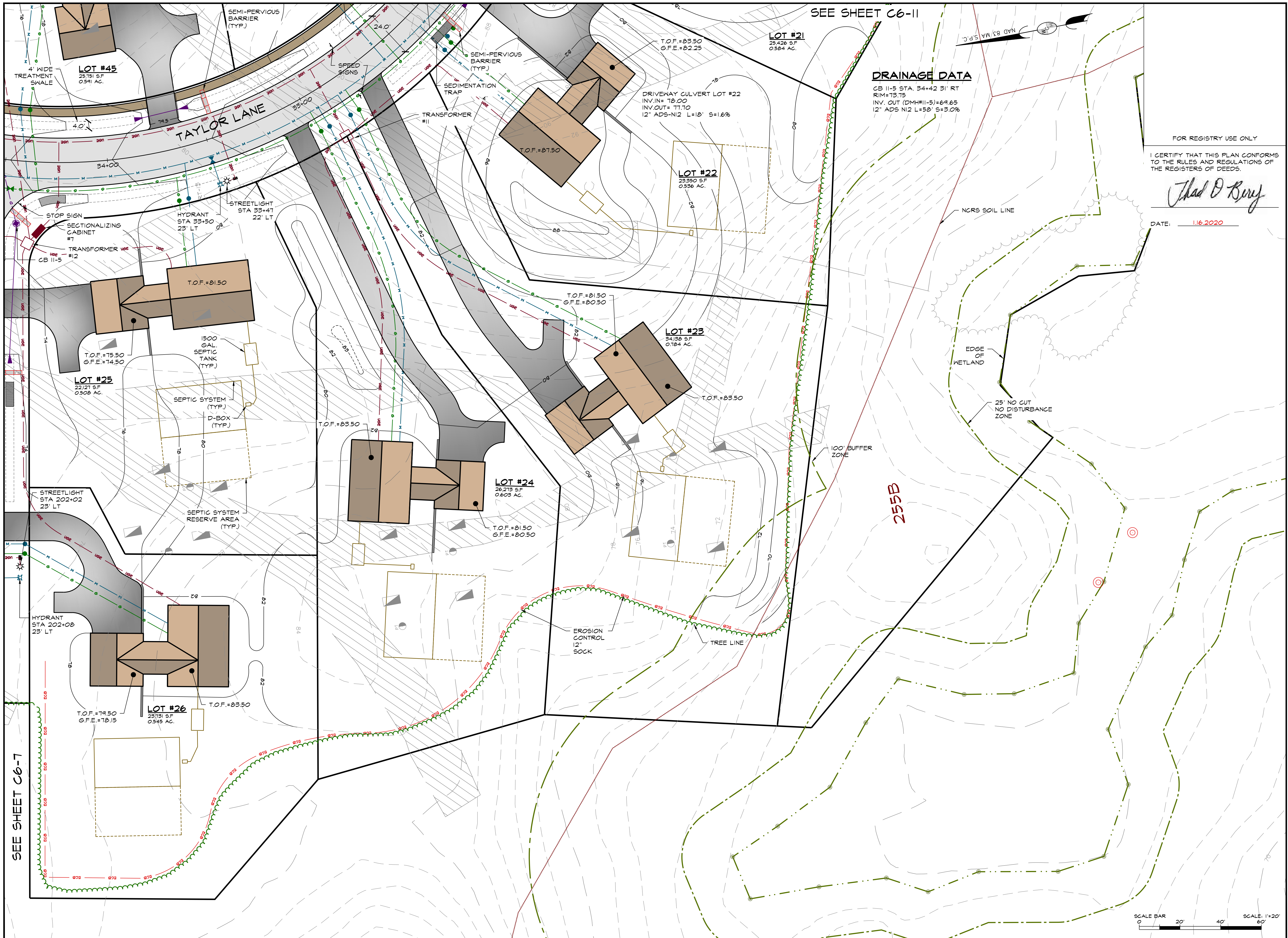
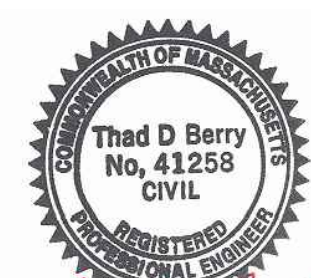
revisions

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DATE: _____

project title:

FALCON RIDGE SUBDIVISION

prepared for applicant:

TAYLOR LANE LLC
357 NORTH STREET
GEORGETOWN, MA 01833

parcel identification:

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block: N.A.

parcel: N.A.

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plan submission

O.S.R.D PLANS

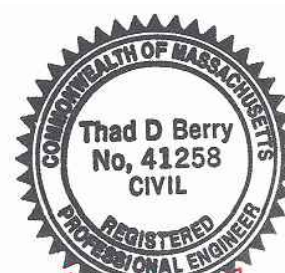
date: 1/16/2020

scale: 1" = 20'

job no: 2017-22

DEP no: 063-0692 O.R.A.D.

DEP no: 063-0693 N.O.I.



drawing name

SITE GRADING,
DRAINAGE,
AND SWPP

drawing number

C6-13

sheet 30 of 42

BMP #12INV. IN (BMP#12-H.W.#12-2)=44.00
INV. OUT (BMP#12-H.W.#12-3)=43.95
6" ADS-N12 L=5' S=1.0%
WEIR OVERFLOW
ELEVATION=46.50
CREST LENGTH=25.0'
CREST BREADTH=6.0'H.W.#12-2
INV.=44.00
H.W.#12-2
INV.=43.95

RIP-RAP

BMP #12 DETAIL

SCALE: 1"=20'

FOR REGISTRY USE ONLY

I CERTIFY THAT THIS PLAN CONFORMS
TO THE RULES AND REGULATIONS OF
THE REGISTERS OF DEEDS.

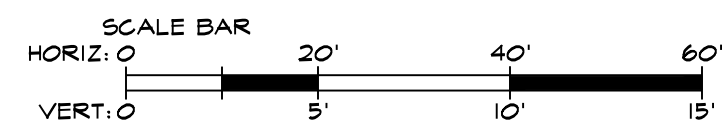
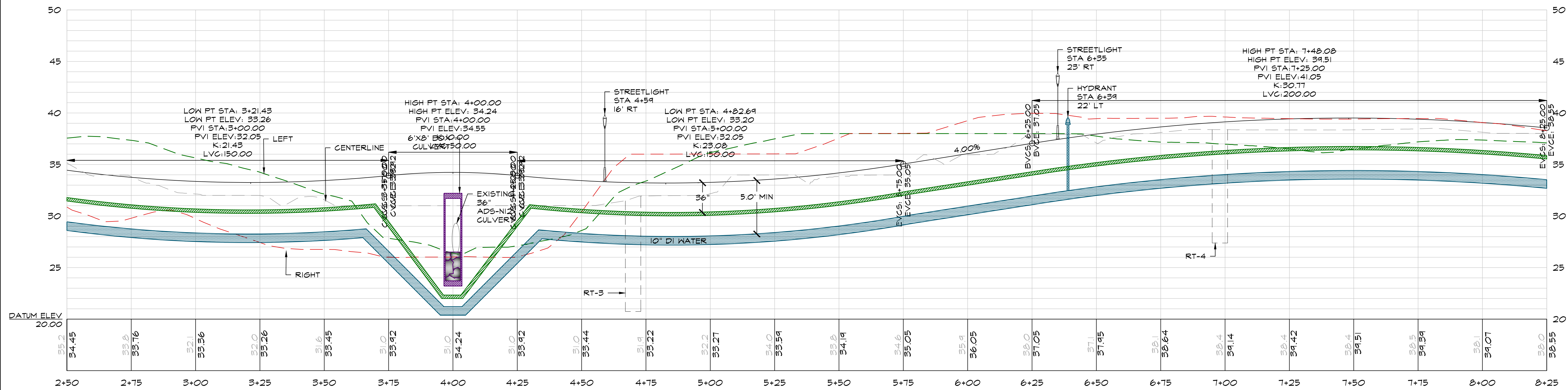
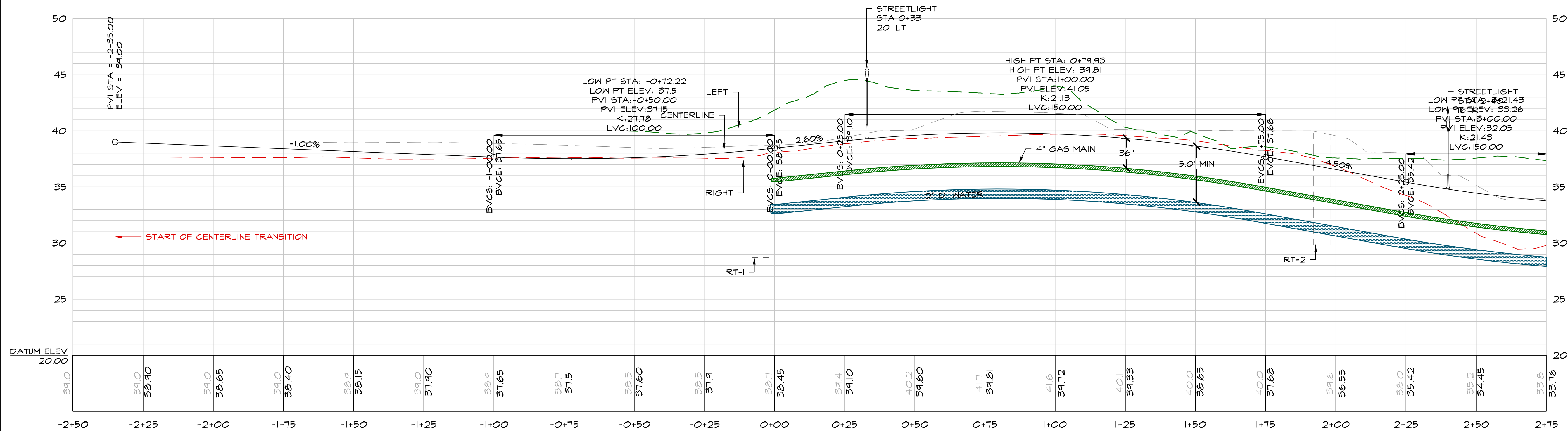
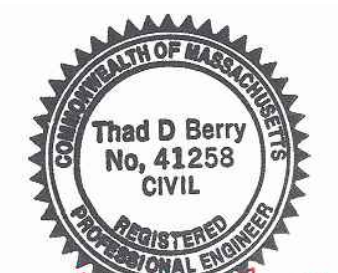
Thad D. Berry

DATE: 1/16/2020

DRAINAGE DATACB 12-2 STA. 304+00 22' LT
RIM=51.00
INV. OUT (DMH#12-1)=53.15
6" ADS N12 L=49' S=4.0%
G.I. 12-1 STA. 303+50 49' LT LOW POINT
RIM=56.50
INV. OUT (CB.12-1)=53.00
6" ADS N12 L=28' S=4.2%CB 12-1 STA. 303+10 52' LT
RIM=56.00
INV. IN (G.I.12-1)=52.30
INV. OUT (DMH#12-1)=51.82
6" ADS N12 L=5' S=3.0%
G.I. 12-2 STA. 303+50 49' RT LOW POINT
RIM=56.50 INV. IN (G.I.12-2)=53.00
INV. OUT (CB.12-3)=53.20
6" ADS N12 L=4' S=5.0%DMH 12-1 STA. 303+71 60.5' LT
RIM=55.75 FINISH GRADE
INV. IN (CB.12-1)=51.57
INV. IN (CB.12-2)=51.20
INV. IN (DMH#12-1A)=50.60
INV. OUT (BMP#12 H.W.#12-1)=50.60
18" ADS N12 L=203' S=3.0%DMH 12-1A STA. 303+59 30' LT
RIM=57.40
INV. IN (CB.12-1A)=51.30
INV. IN (CB.12-3)=51.30
INV. IN (DMH#12-2)=51.30
INV. IN (DRIVEWAY CULVERT)=51.30
INV. OUT (DMH#12-2)=51.30
18" ADS N12 L=203' S=3.0%CB 12-3 STA. 303+51 56' RT
RIM=56.25
INV. IN (G.I.12-2)=53.00
INV. OUT (DMH#12-1)=52.90
6" ADS N12 L=81' S=2.0%

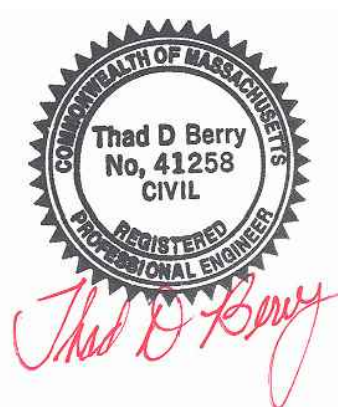
SEE SHEET C6-10 & C6-11

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2	6.21.20	REVIEW COMMENTS

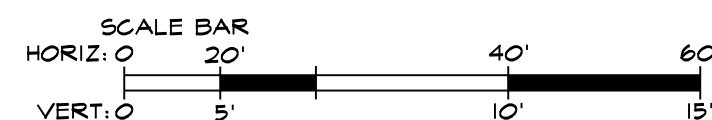
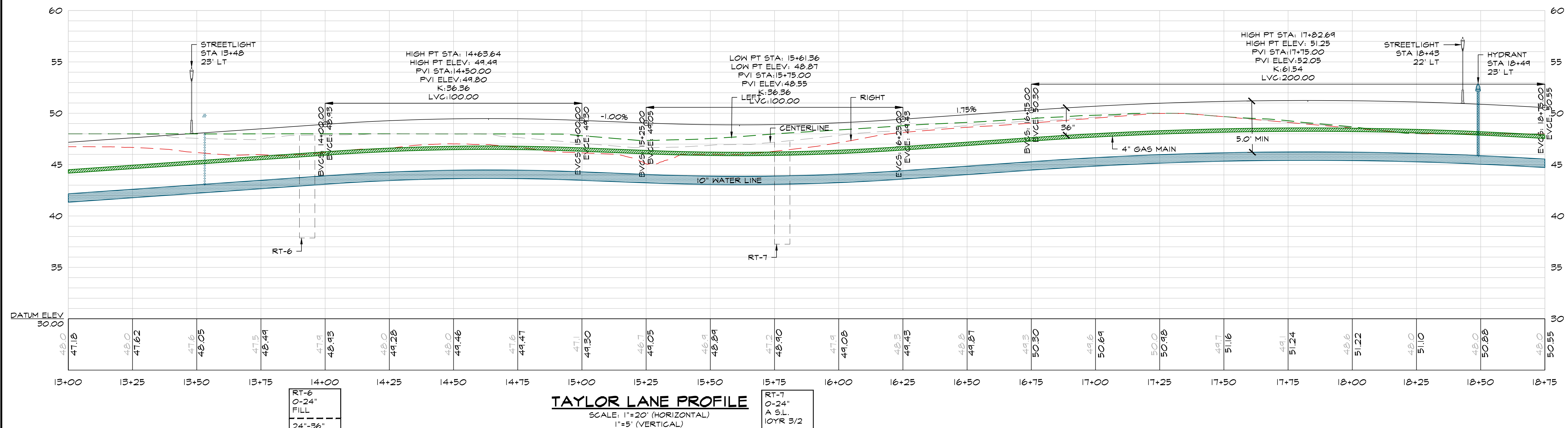
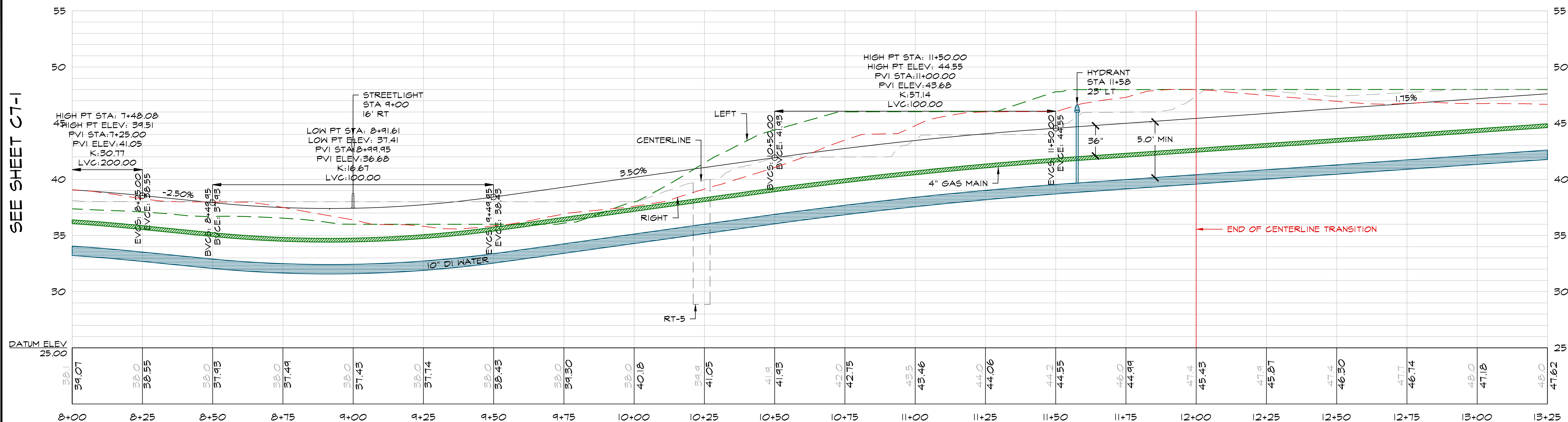


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2	6.21.20	REVIEW COMMENTS

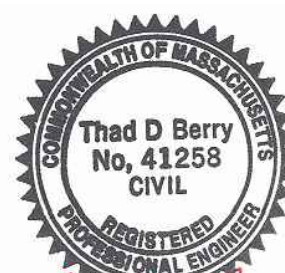


SEE SHEET C7-1

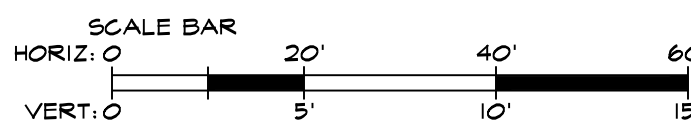
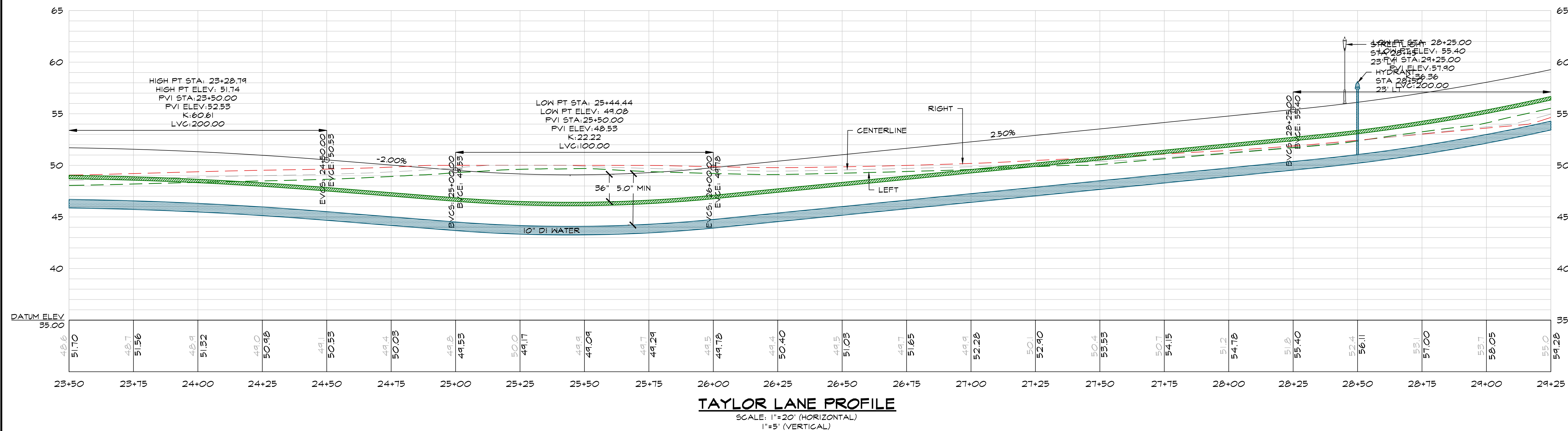
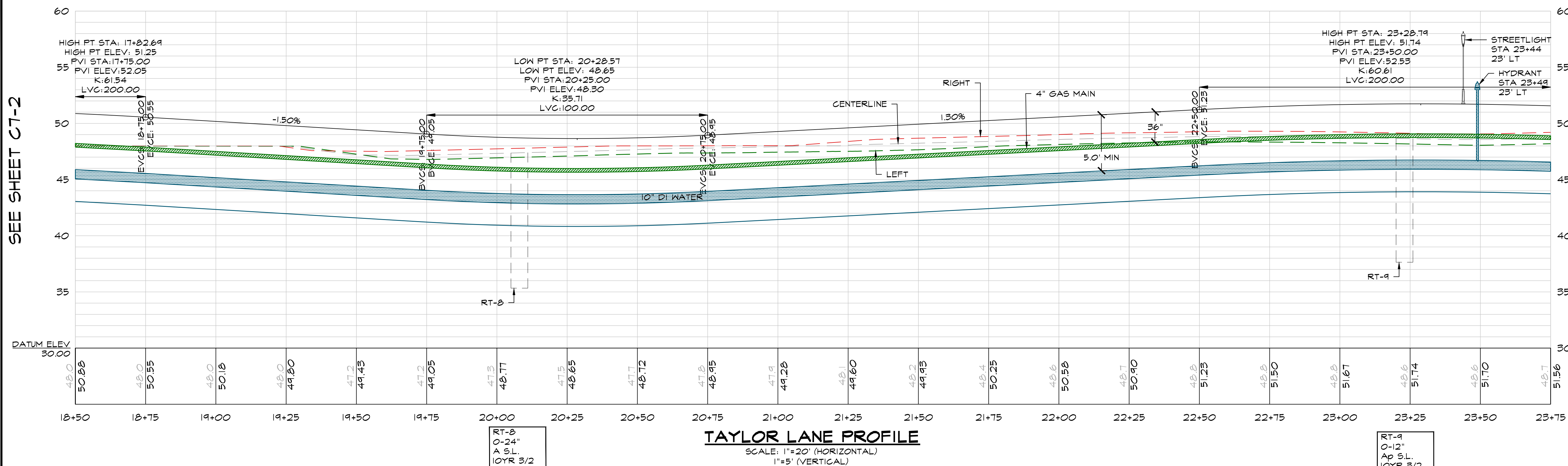


SEE SHEET C7-3

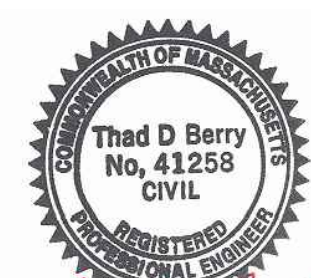
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1	4.27.20	REVIEW COMMENTS
2	6.21.20	REVIEW COMMENTS



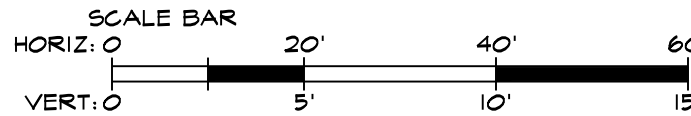
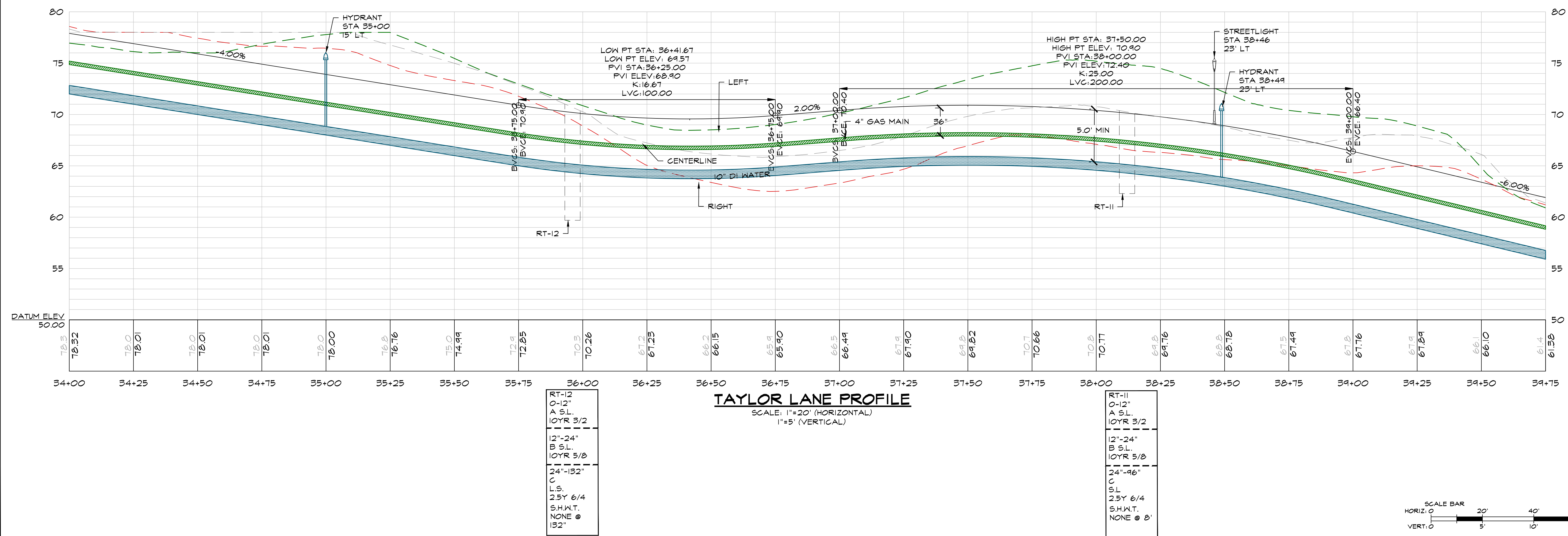
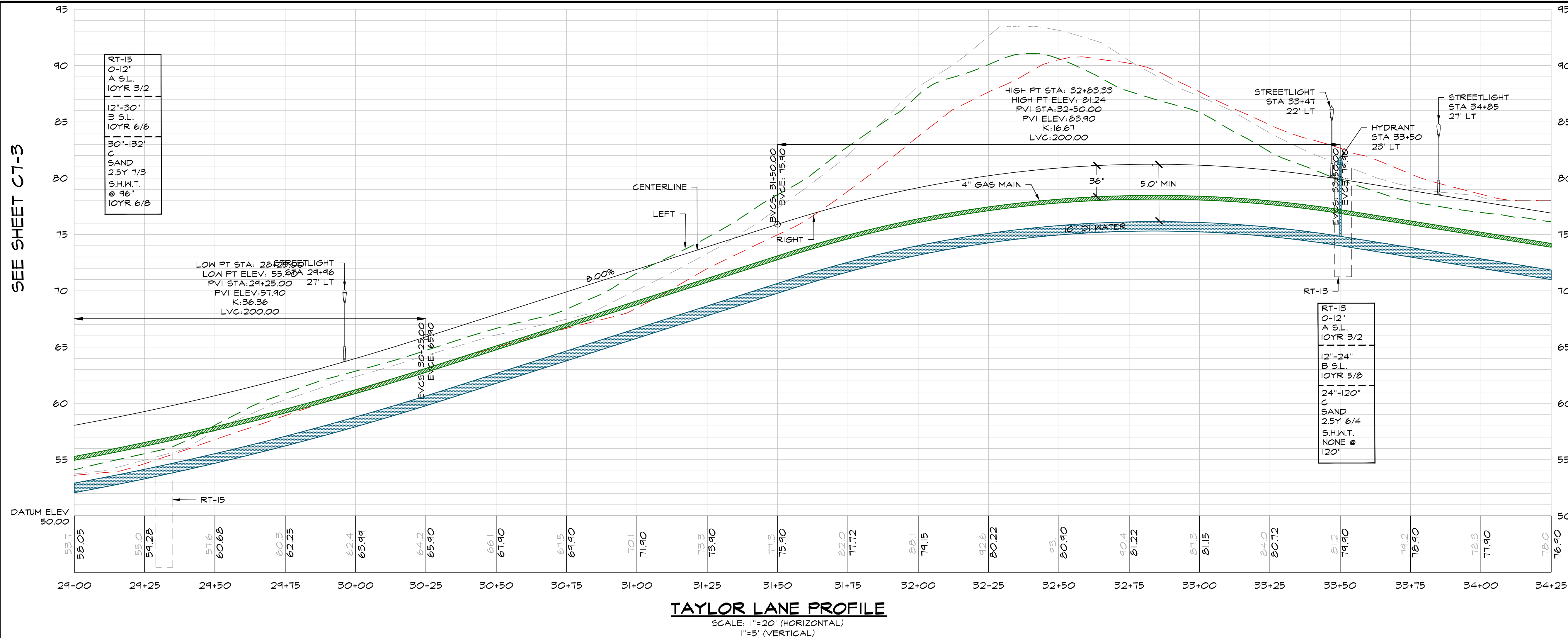
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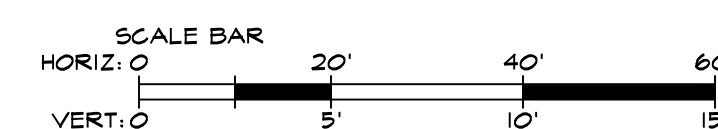
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1	4/27/20	REVIEW COMMENTS
2	6/21/20	REVIEW COMMENTS



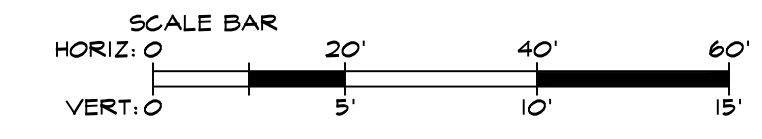
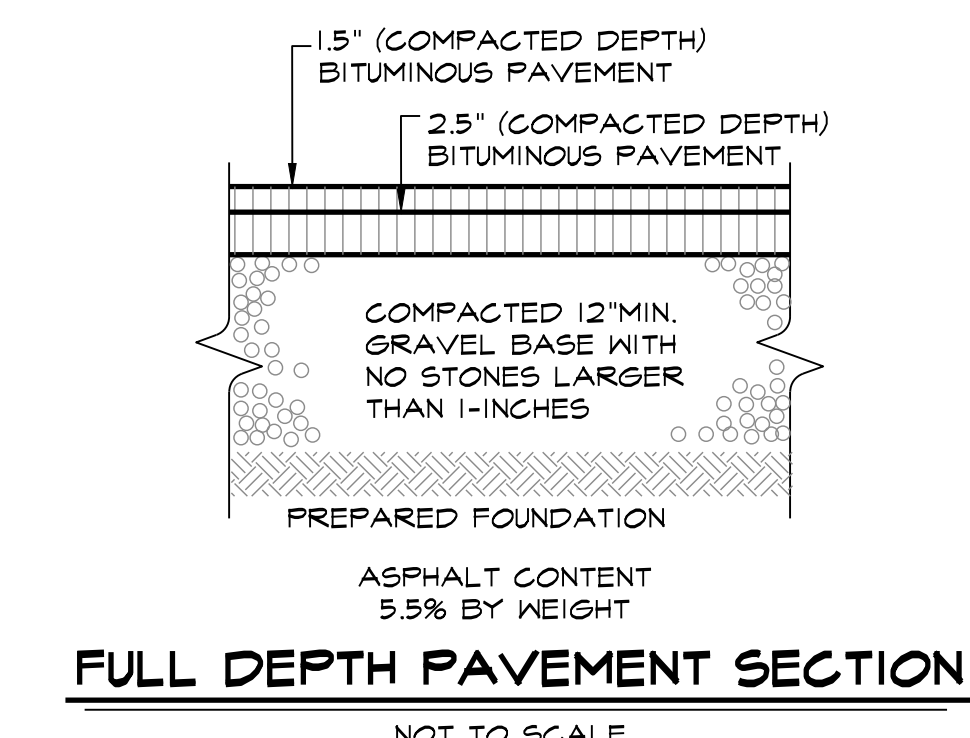
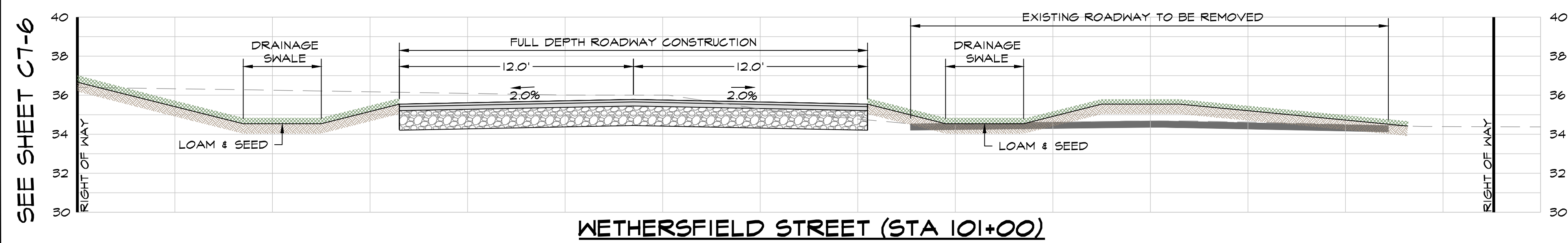
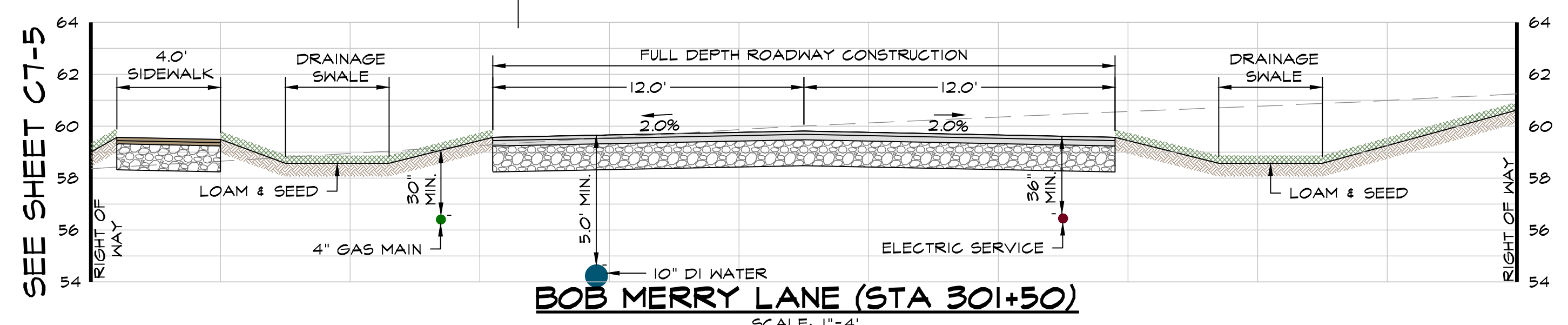
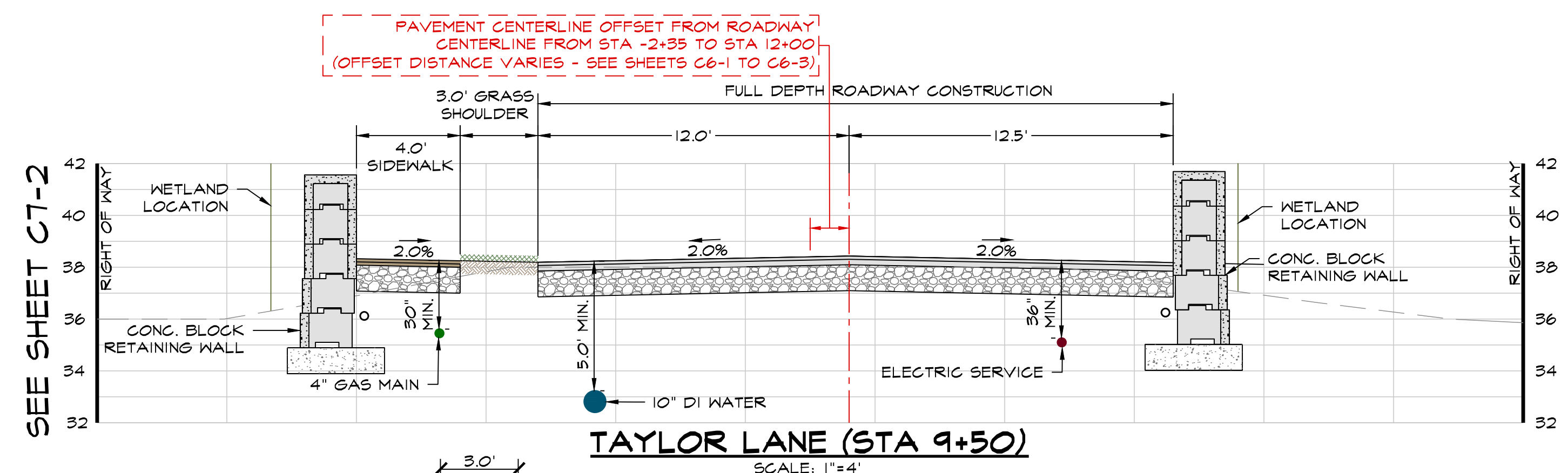
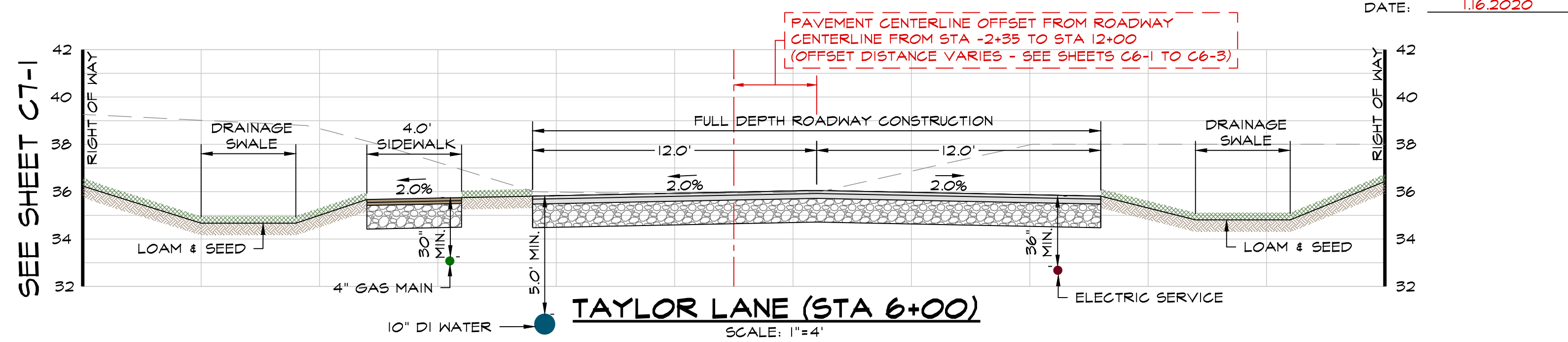
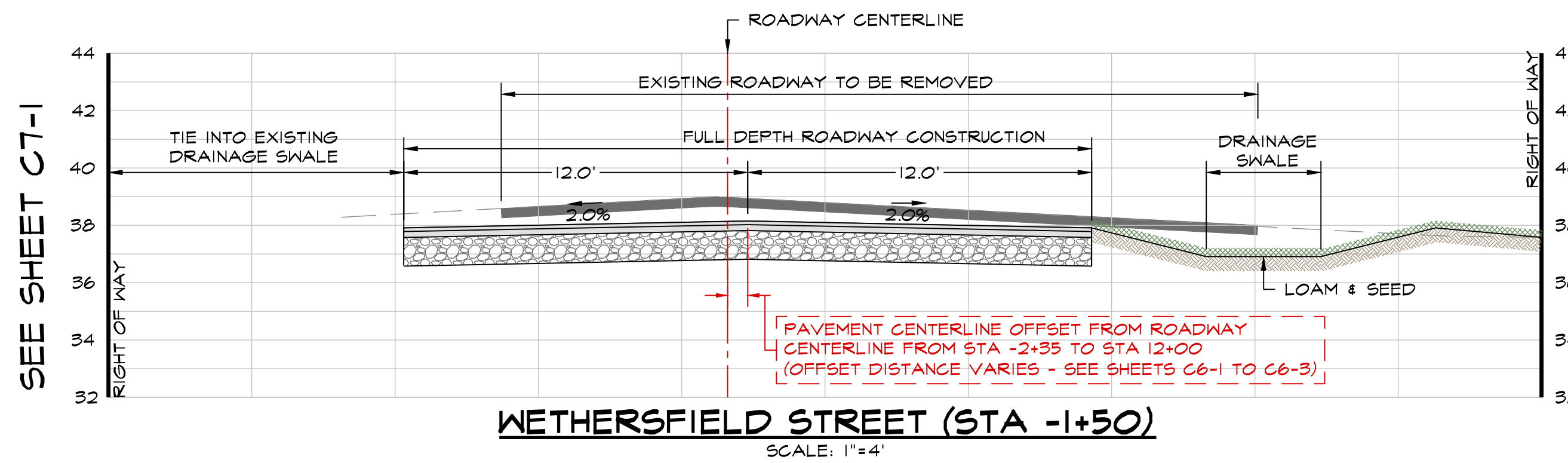
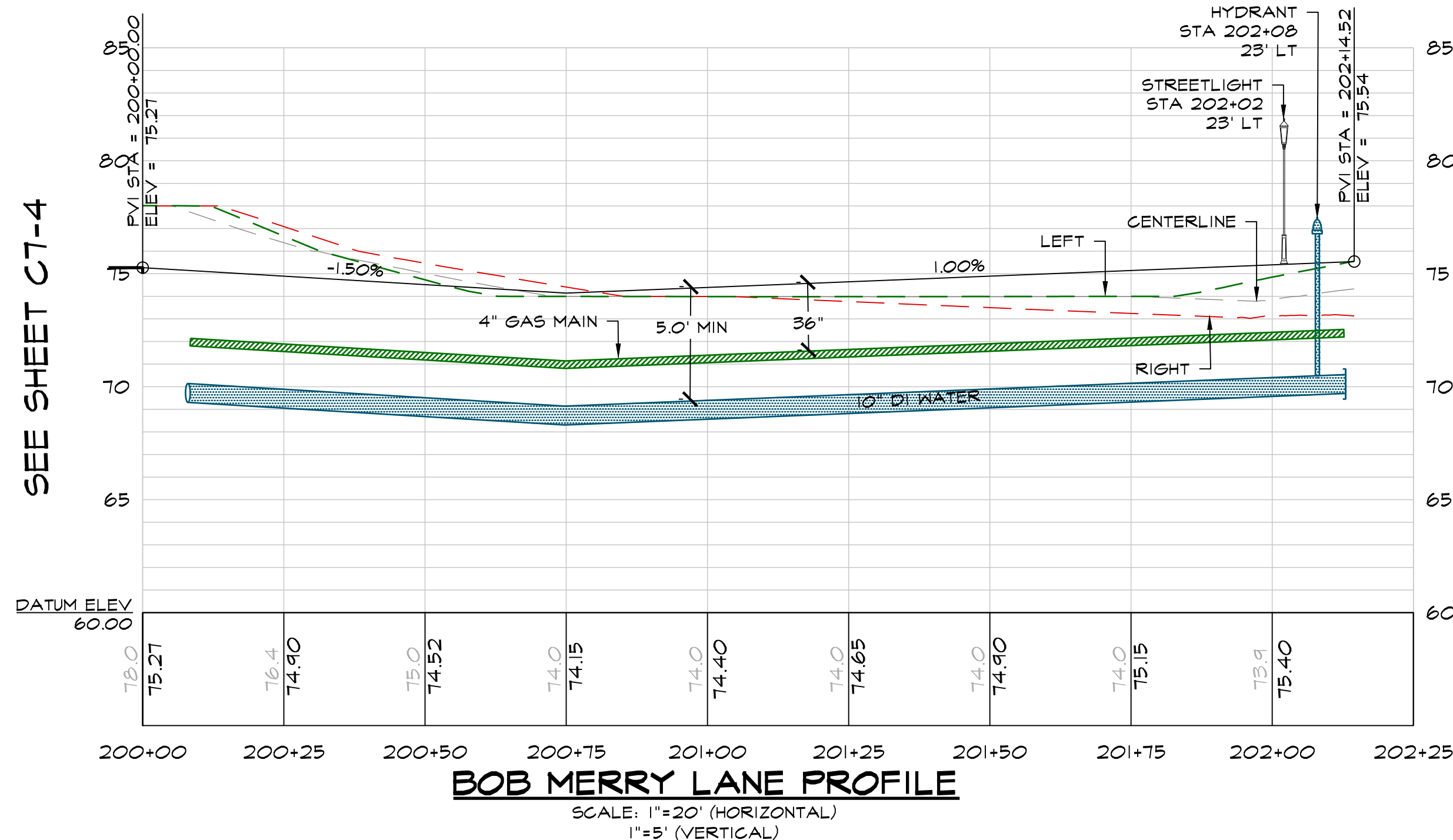
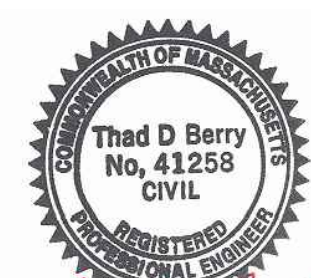
SEE SHEET C7-3



SEE SHEET C7-5



no.	date	description
0	1/16/2020	ISSUED FOR REVIEW
1	4/21/20	REVIEW COMMENTS
2	6/21/20	REVIEW COMMENTS



I CERTIFY THAT THIS PLAN CONFORMS
TO THE RULES AND REGULATIONS OF
THE REGISTERS OF DEEDS.

DATE: 1.16.2020

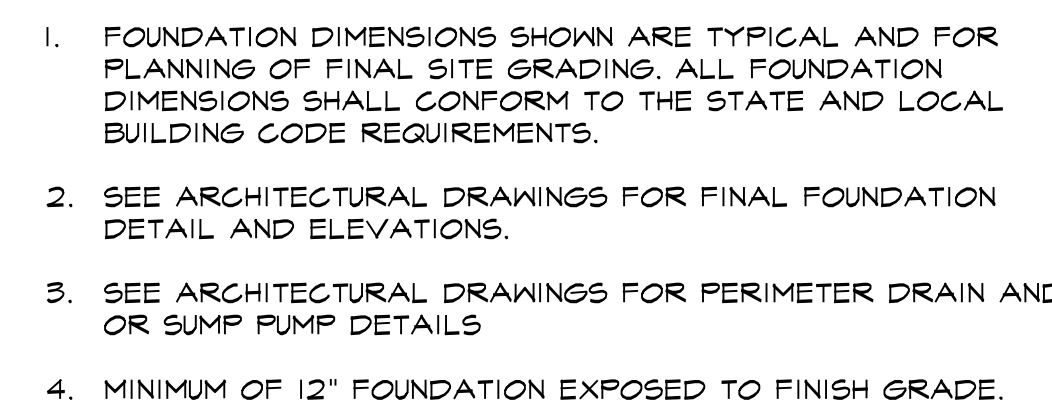
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scale: AS NOTED
job no: 2017-22
DEP no: 063-0692 O.R.A.D.
DEP no: 063-0693 N.O.I.



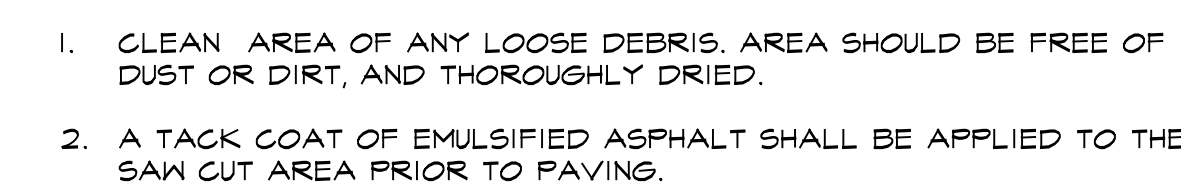
sheet 37 of 42



NOT TO SCALE



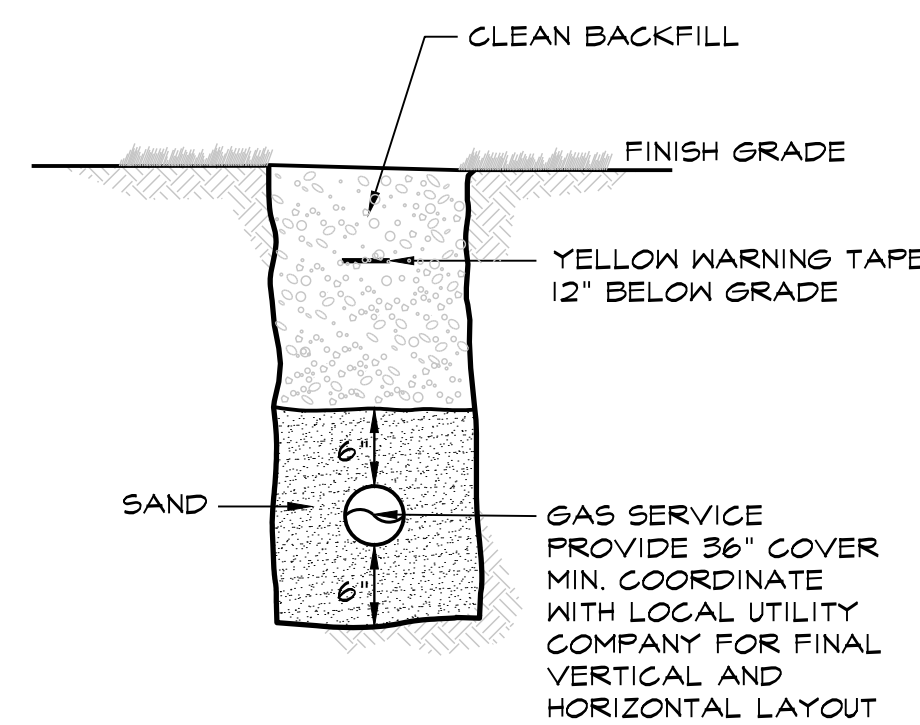
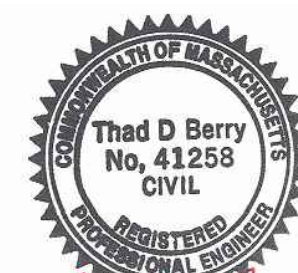
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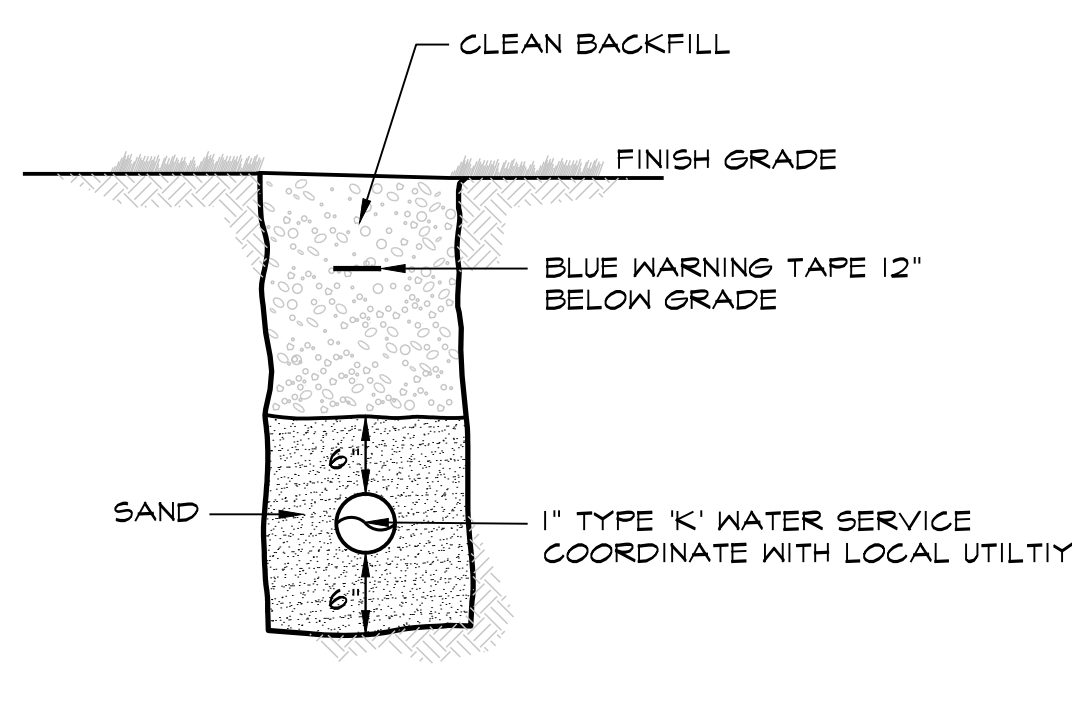
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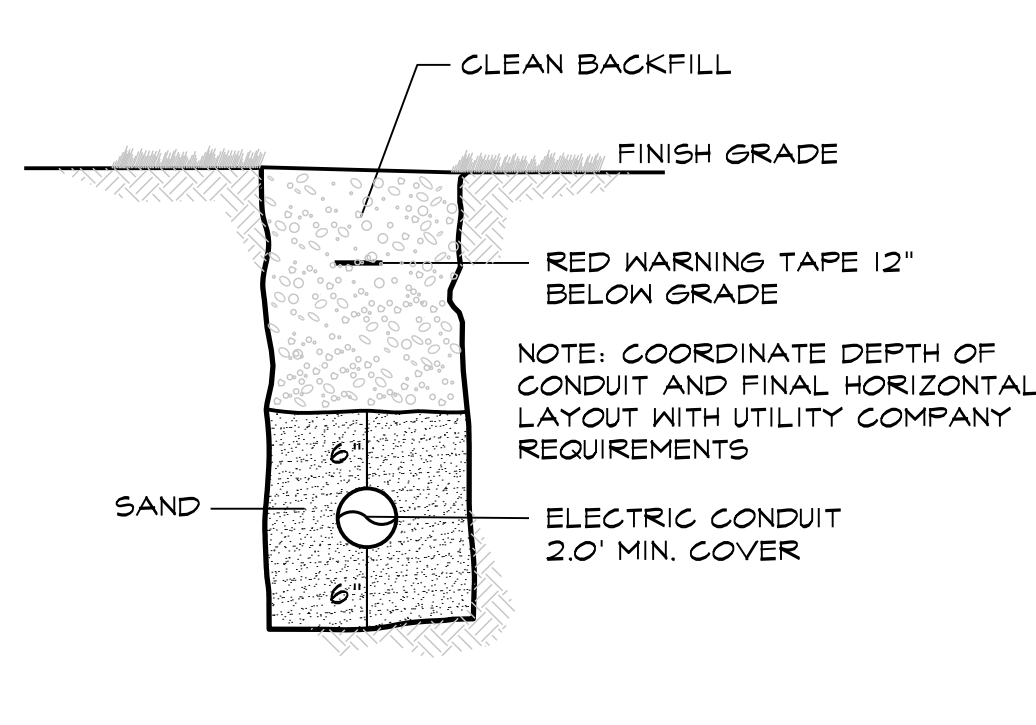
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**GAS SERVICE TRENCH**

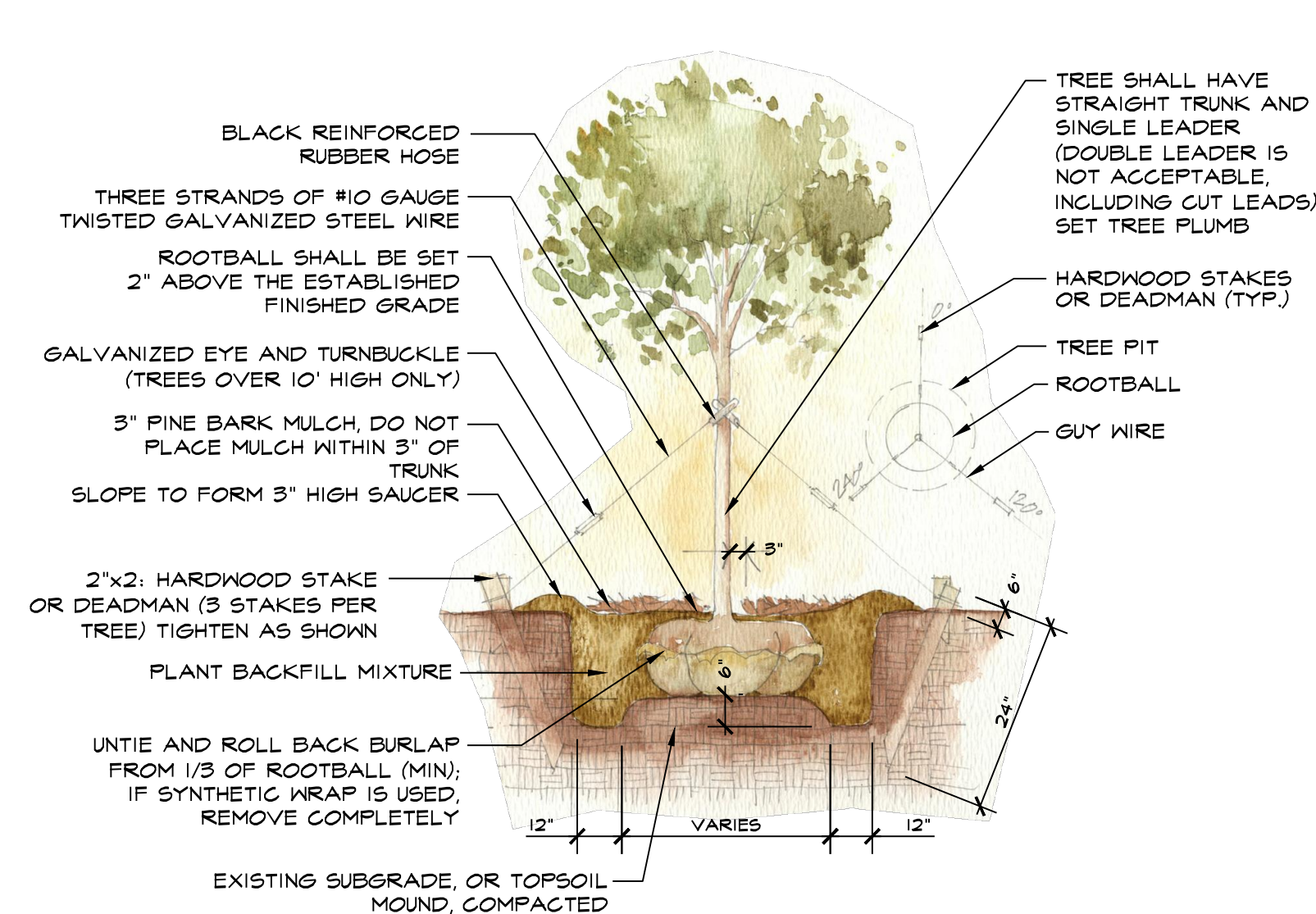
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**WATER SERVICE TRENCH**

NOT TO SCALE

**ELECTRIC TRENCH**

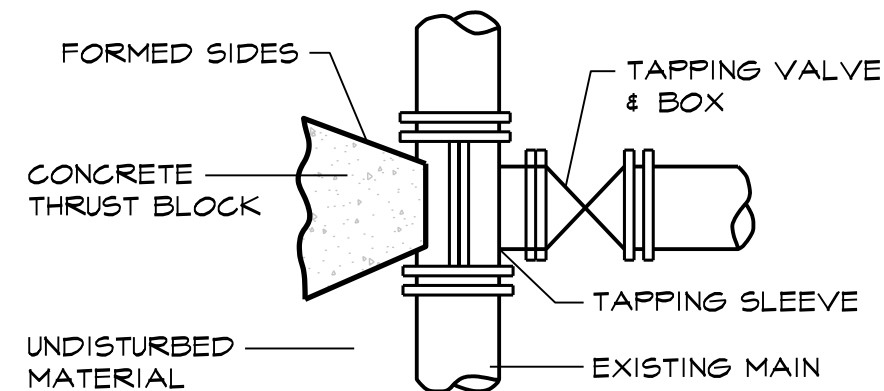
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**DECIDUOUS TREE PLANTING**

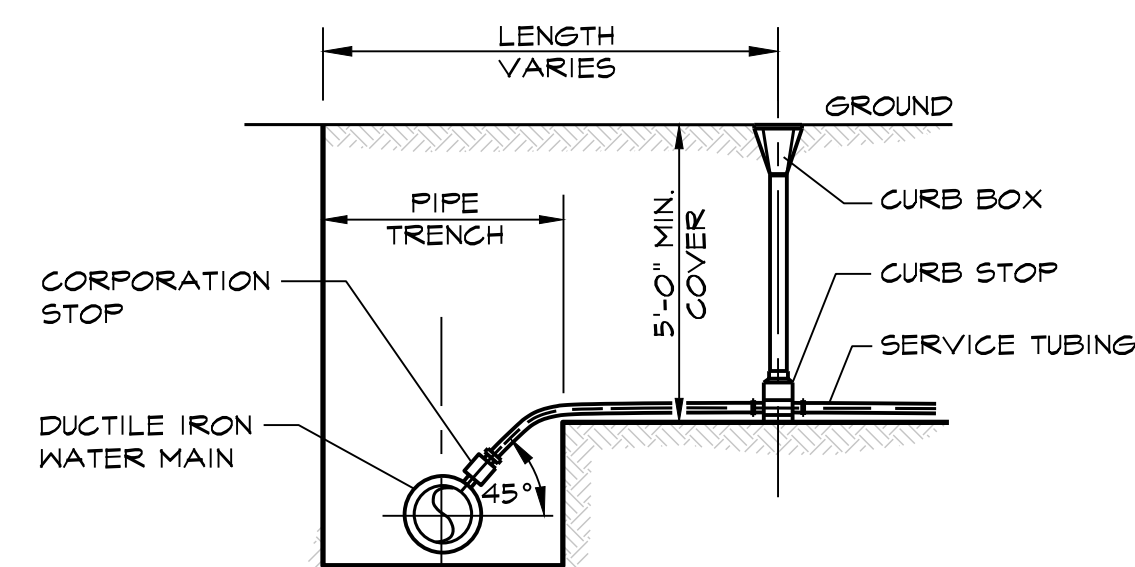
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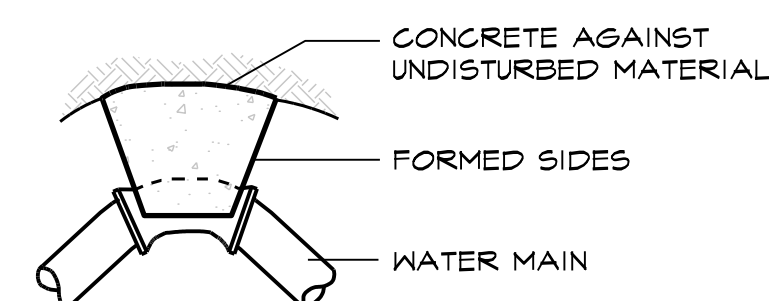
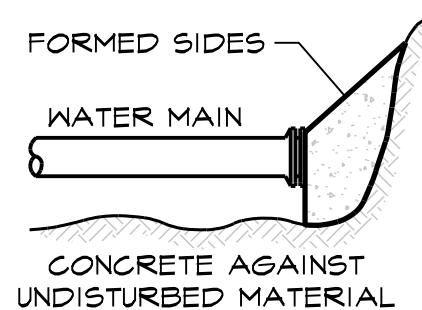
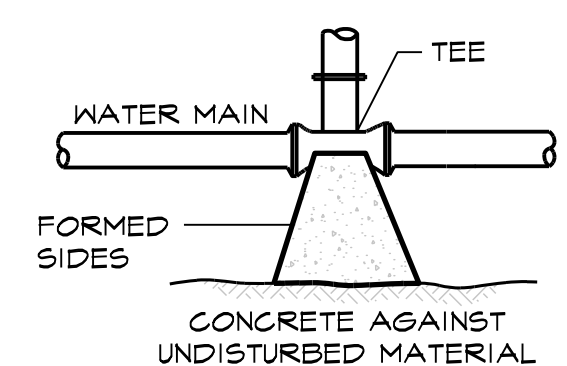
- STREET TREES TO CONFORM TO THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN.
- SPECIES TO BE APPROVED BY THE ROWLEY TREE WARDEN AND/OR PLANNING BOARD.
- TREES TO TWIST AT 40" INTERVALS.
- MINIMUM HEIGHT AT TIME OF PLANTING SHALL BE 12' WITH A 2" DIAMETER MEASURED 4' ABOVE FINISHED GRADE.
- A TOTAL OF 174 STREET TREES WILL BE PLANTED. FINAL TREE PLANTING LOCATIONS SHALL BE DETERMINED/COORDINATED WITH THE ROWLEY PLANNING BOARD AT THE TIME OF PLANTING

**TAPPING SLEEVE & VALVE DETAIL**

NOT TO SCALE

**TYPICAL WATER SERVICE**

NOT TO SCALE

**BEND-PLAN****PLUG ELEVATION****TEE-PLAN****THRUST BLOCK DETAILS**

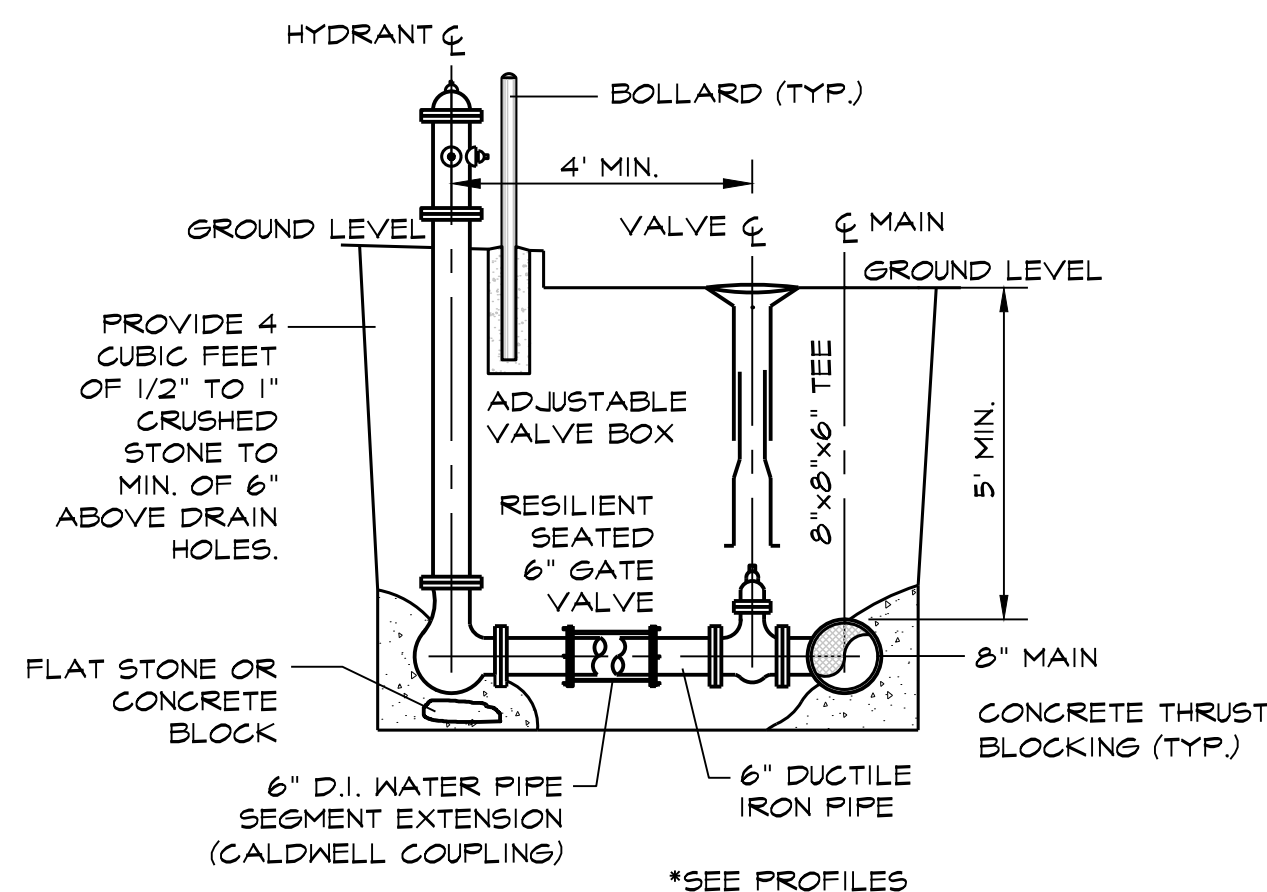
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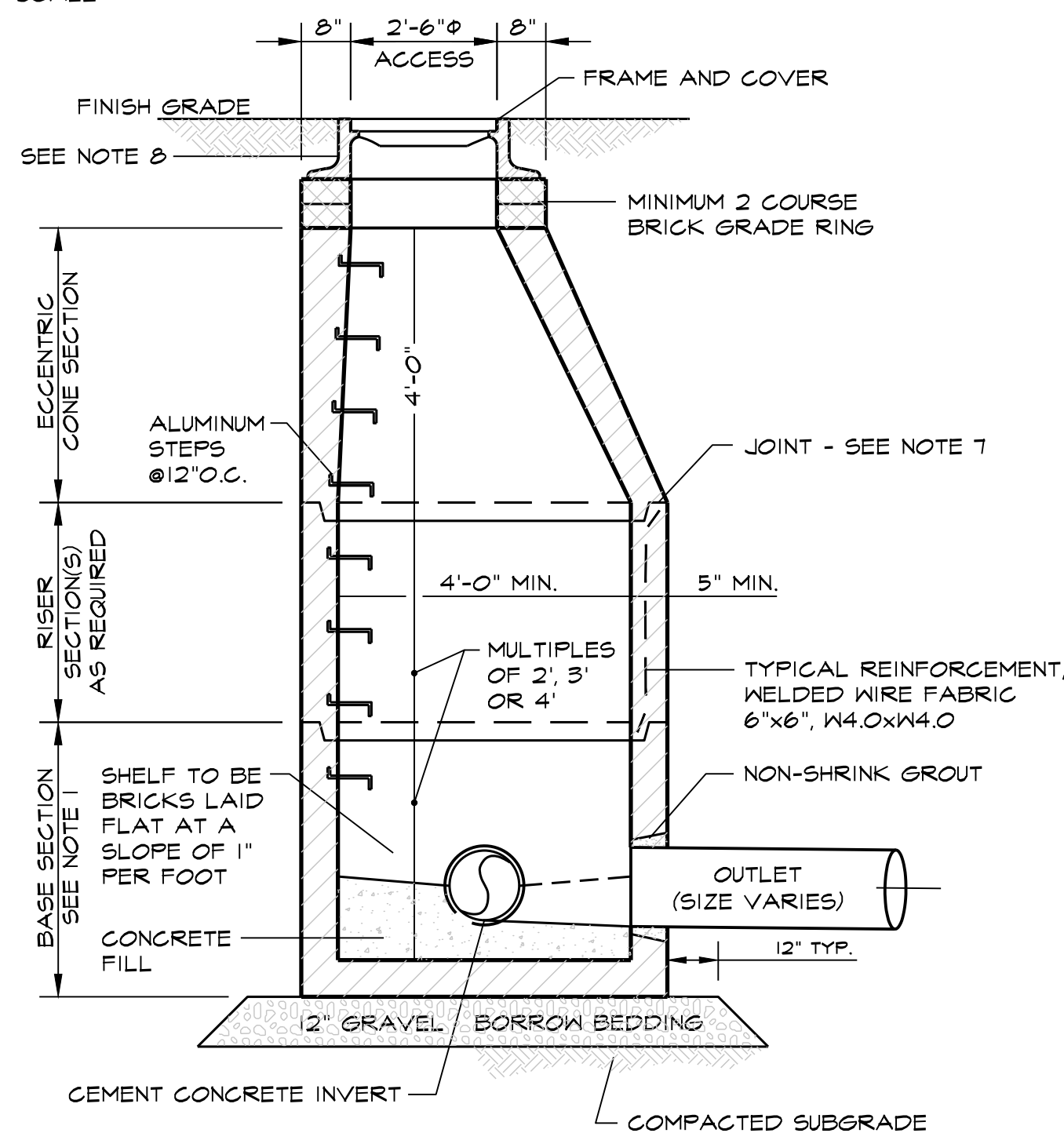
- CONCRETE FOR THRUST BLOCKS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI AT 28 DAYS
- THRUST BLOCK BEARING AREAS TO BE IN ACCORDANCE WITH TABLE BELOW, UNLESS DETERMINED OTHERWISE BY THE ENGINEER BECAUSE OF SOIL CONDITIONS

TABLE OF BEARING AREAS (S.F.)				
SIZE OF MAIN (IN.)	90° BEND	TEES & PLUGS	45° BEND	
8±	6	4	3	
12	12	9	6	

* RESTRAINED JOINTS ARE ALSO REQUIRED

**HYDRANT & GATE VALVE DETAIL**

NOT TO SCALE

**PRE-CAST CONCRETE DRAIN MANHOLE**

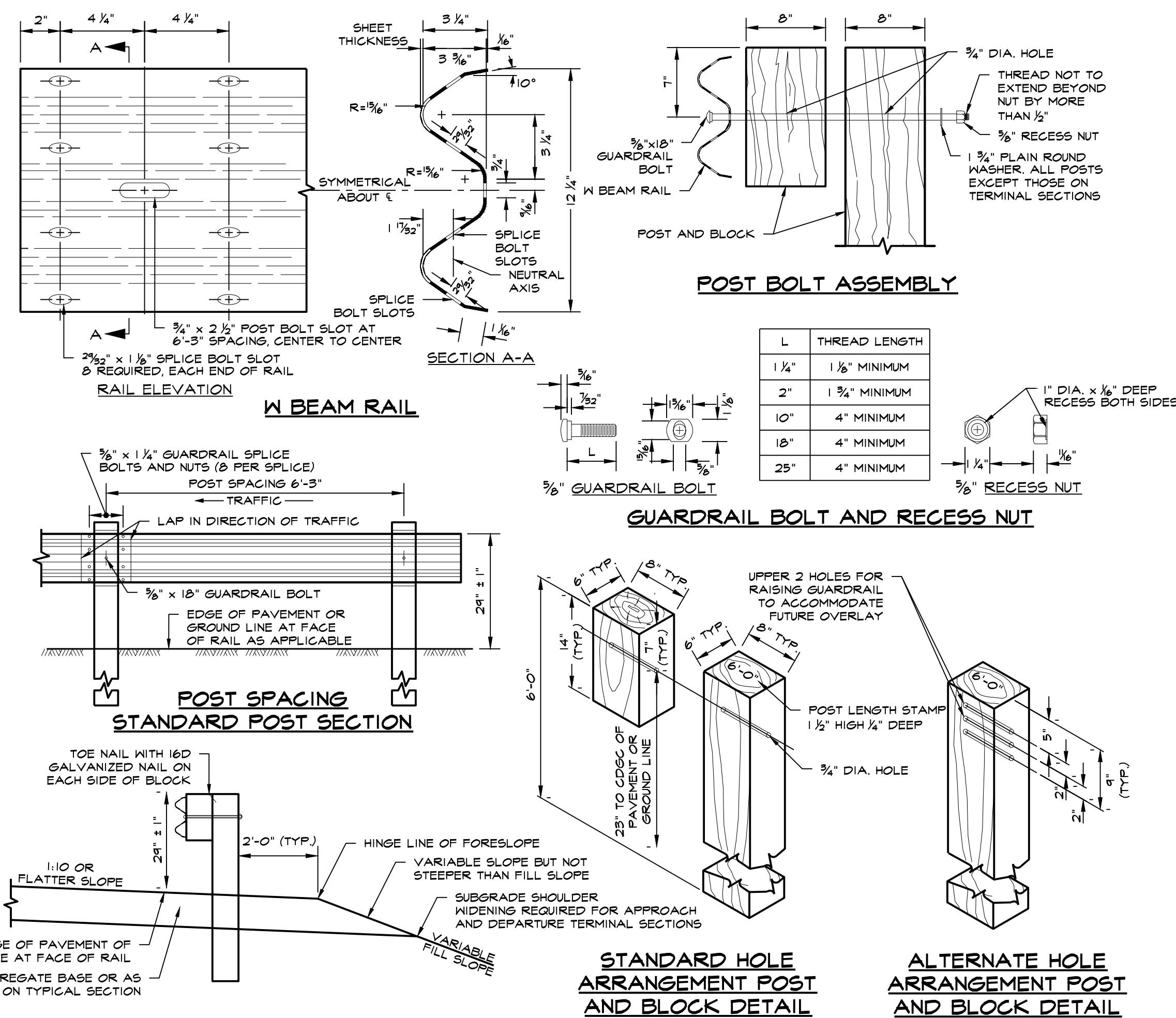
NOT TO SCALE

DRAIN MANHOLE NOTES:

- BASE SECTION SHALL BE MONOLITHIC WITH 48-INCH INSIDE DIAMETER.
- ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
- CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000psi TYPE II CEMENT.
- PROVIDE "V" KNOCKOUTS FOR PIPES WITH 1" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
- MANHOLE STEPS SHALL BE INSTALLED @12"OC FOR THE FULL DEPTH OF THE STRUCTURE.
- JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PERFORMED BUTYL RUBBER.
- STANDARD DRAIN MANHOLE FRAME SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 COURSE MAXIMUM).
- FRAME AND COVER SHALL BE LABARON LS 328-2 OR ENGINEER APPROVED EQUAL. THE WORD "DRAIN" SHALL BE CAST INTO THE COVER WITH 3-INCH LETTERS.

TRENCH NOTES:

- FIRM FOUNDATION SOILS (2000 PSI MIN.) REQUIRED. REPLACE UNSUITABLE SOILS WITH GRAVEL AS DIRECTED.
- MHD M104.0 SAND SPEC. FOR WATER PIPE.
- TRENCH TO CONFORM TO TOWN STANDARDS - CONTRACTOR TO CONFIRM.

**TYPICAL GUARDRAIL CROSS SECTION****G4 W-BEAM GUARDRAIL WOOD POSTS**

NOT TO SCALE

NOTES:

- DIMENSION TOLERANCES NOT SHOWN OR IMPLIED ARE INTENDED TO BE THOSE CONSISTENT WITH THE PROPER FUNCTIONING OF THE PART, INCLUDING ITS APPEARANCE, AND ACCEPTED MANUFACTURING PRACTICES.
- END TREATMENTS ON GUARDRAILS ARE TO BE TANGENT END TREATMENT (TL-2) OR FLARED END TREATMENT (TL-2).

DATE: _____

project title:
FALCON RIDGE SUBDIVISIONprepared for applicant:
TAYLOR LANE LLC
357 NORTH STREET
GEORGETOWN, MA 01833parcel identification:
map: 9 & 12
block: N.A.
parcel: N.A.
lot: 2, 3, 4, & 23

revisions		
no.	date	description
0	1/16/2020	ISSUED FOR REVIEW
1	4/27/20	REVIEW COMMENTS
2	6/21/20	REVIEW COMMENTS

plan submission
O.S.R.D PLANSdate: 1.16.2020
scale: AS NOTED
job no: 2017-22
DEP no: 063-0692 O.R.A.D.
DEP no: 063-0693 N.O.I.

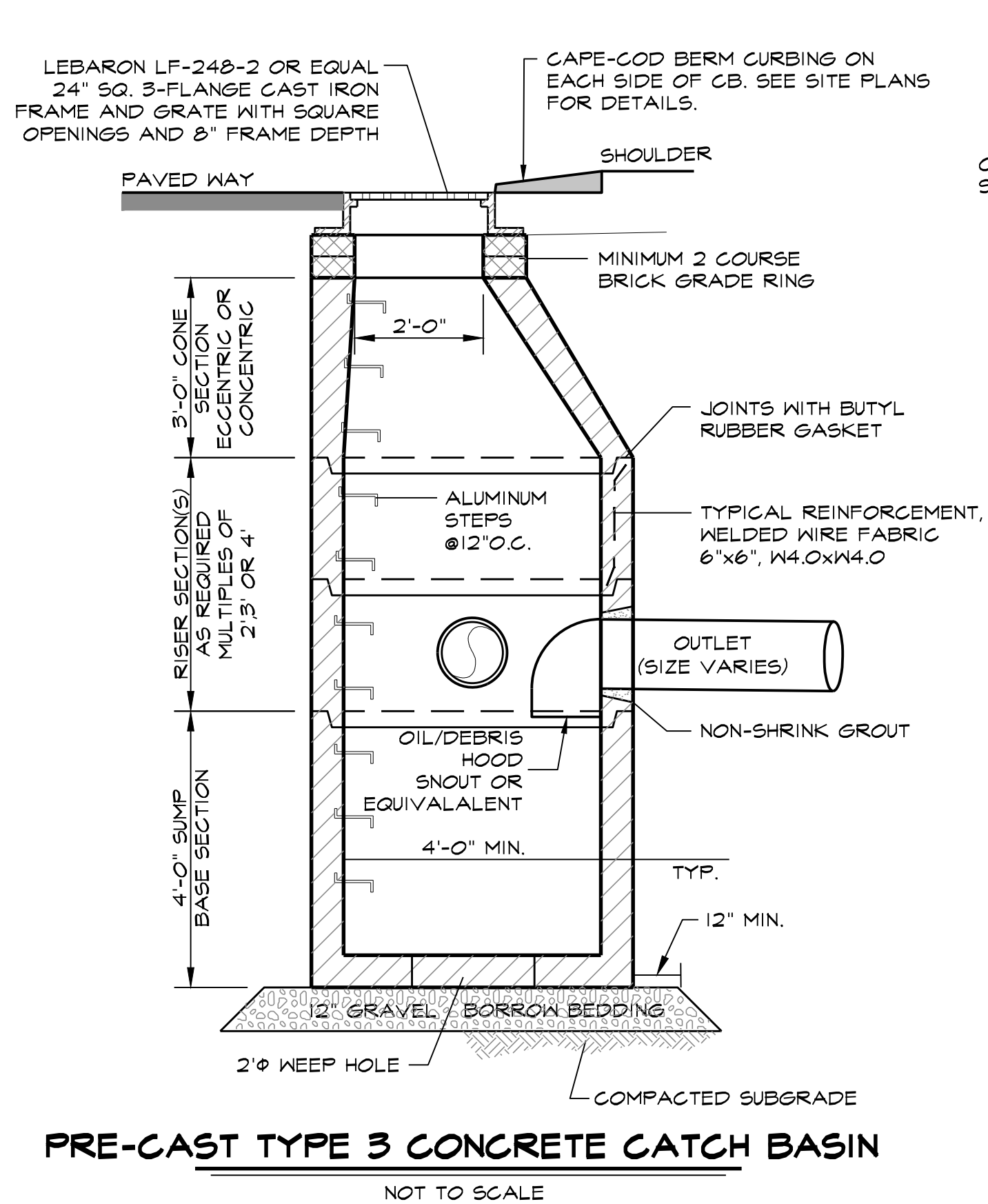
drawing name

DRAINAGE
DETAILS

drawing number

C10

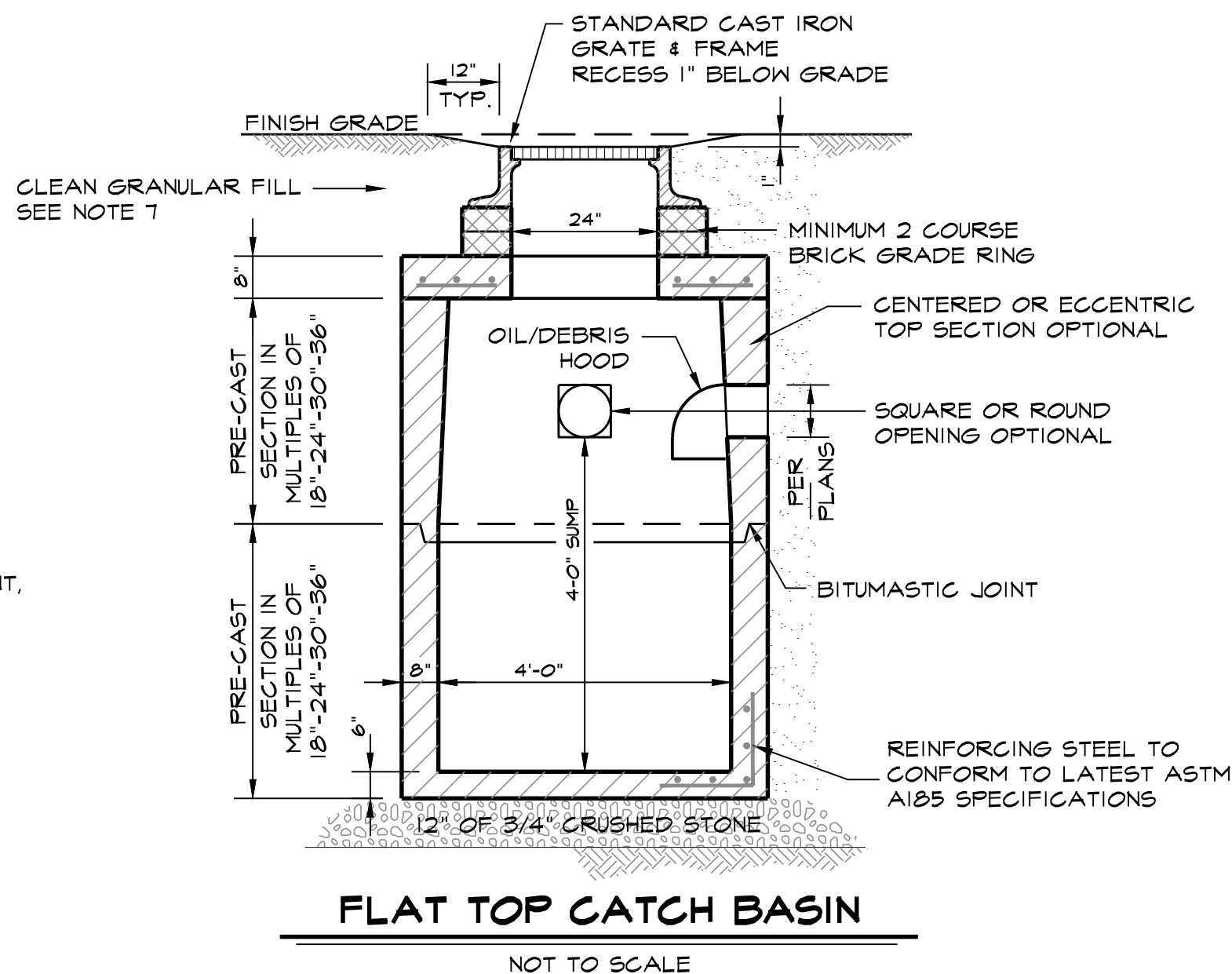
sheet 39 of 42



PRE-CAST TYPE 3 CONCRETE CATCH BASIN

NOT TO SCALE

*NOTE: MINIMUM SUMP OF 4'-FEET REQUIRED FOR ALL PIPES LESS THAN 18-INCHES IN DIAMETER. FOR PIPES GREATER THAN 18-INCHES IN DIAMETER, MINIMUM SUMP SHALL BE TWO TIMES THE PIPE DIAMETER (2 x ϕ).



FLAT TOP CATCH BASIN

NOT TO SCALE

CATCH BASIN NOTES:

- 1) BASE SECTION SHALL BE MONOLITHIC WITH 48-INCH INSIDE DIAMETER.
- 2) ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
- 3) CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000psi TYPE II CEMENT. PRE-CAST REINFORCED CONCRETE SHALL BE ASTM C-478.
- 4) STANDARD GRATE & FRAME SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 COURSE MAXIMUM).
- 5) GRATE AND FRAME SHALL BE LEBARON CAST IRON OR ENGINEER APPROVED EQUAL. ALL GRATES TO BE BICYCLE SAFE.
- 6) CLEAN GRANULAR FILL SHALL BE FREE FROM FROM ORGANIC MATTER, LARGE STONES, STUMPS, MASONRY, FROZEN EARTH, WOOD, TREE BRANCHES & WASTE CONSTRUCTION MATERIAL. PLACE AND MECHANICALLY COMPACT IN 12" LIFTS TO 95% OF MAX. STANDARD PROCTOR COMPACTION.
- 7) TRENCH SHEETING & BRACING TO BE SUPPLIED AS REQUIRED.
- 8) ALL CATCH BASIN OUTLETS TO BE EQUIPPED WITH OIL/DEBRIS SEPARATION HOOD, AS REQUIRED BY CITY/TOWN.

WETLAND IMPACTS

WETLAND FILLING AREA #1

FILL AREA = 411 S.F.

WETLAND FILLING AREA #2

FILL AREA = 1,385 S.F.

TOTAL FILL AREA = 1,796 S.F.

REPLICATION AREA = 2 X 1,796 = 3,592 S.F.

REPLICATION AREA PROVIDED = 3,690 S.F.

SPOT GRADES

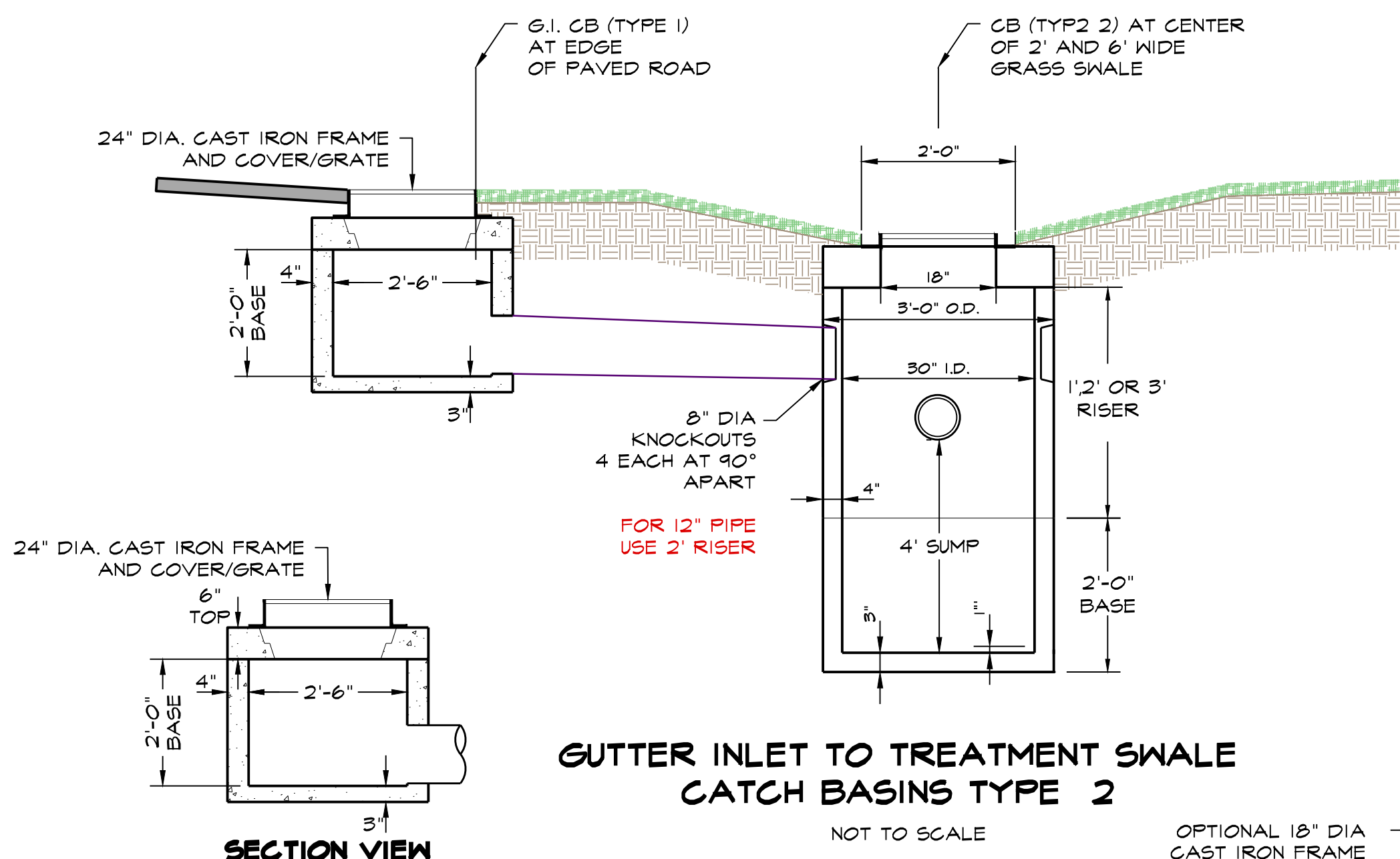
29' FINISH GRADE SPOT ELEVATION

WETLAND PLANTING LIST

Common Name	Latin Name	Wildlife Benefits Food, Cover & Nesting
Red Maple	Acer rubrum	American robin, cardinal, squirrels, chipmunks, warbler and American goldfinch
Arrow-wood	Viburnum dentatum	Ruffed grouse, brown thrasher, American Robin, Eastern Bluebird & Gray Catbird
Azalea, Swamp	Rhododendron viscosum	Waterfowl, Deer, & small mammals
Dogwood, Silky	Cornus amomum	Wild Turkey, White Tailed Deer, & Gray Catbird
Dogwood, Graystem	Cornus foemina racemosa	Grouse, Pheasant, Waterfowl, White-tailed deer, beaver, cottontail rabbit, woodchuck, & American woodcock
Winterberry, Common	Ilex verticillata	Red-Winged Blackbird, American Crow, American Robin, Rabbit, Squirrel
High Bush Blueberry	Vaccinium corymbosum	Fruits eaten by birds & mammals; favorites of scarlet tanagers, bluebirds, grouse

NOTES:

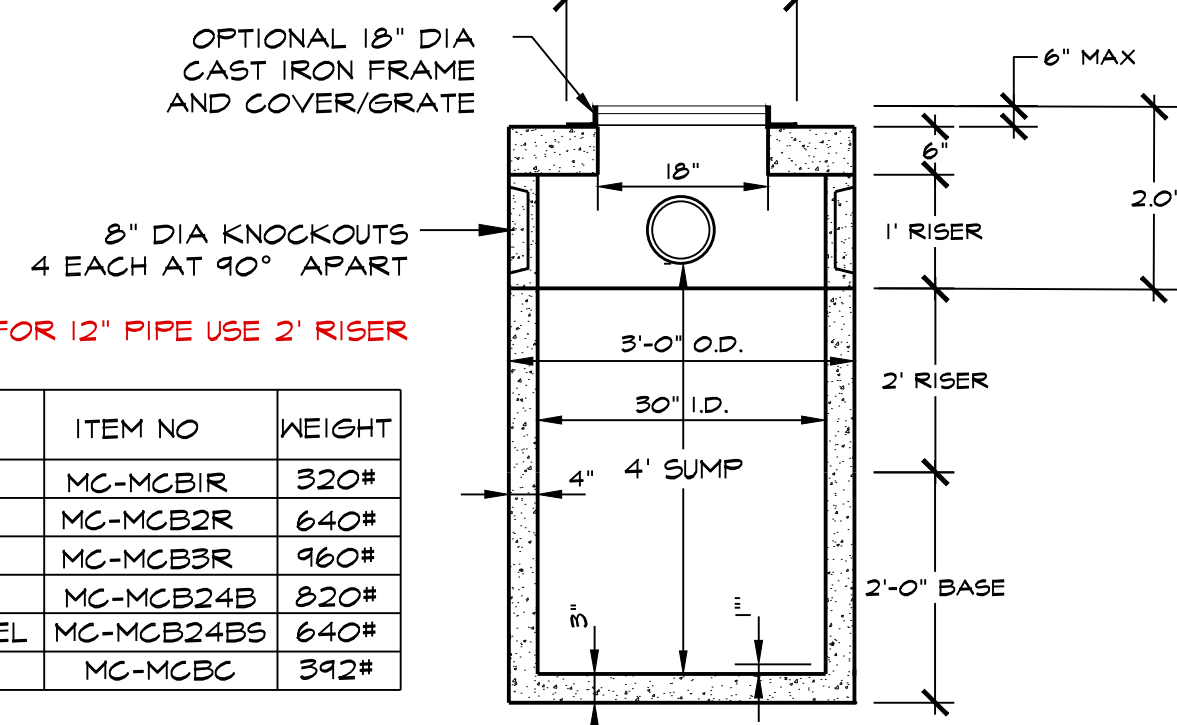
1. A TOTAL OF TEN OF EACH SPECIES LISTED ABOVE SHALL BE PLACED WITHIN THE WETLAND REPLICATION AREA. RED MAPLE TREES WILL BE SPACED AT 20' INTERVALS AND ALL OTHER SPECIES WILL BE PLACED AT 6'-10'. FINAL PLANTING LOCATION AND SPACING WILL BE DETERMINED IN THE FIELD BY NORSE ENVIRONMENTAL SERVICES, INC. IN COORDINATION WITH THE ROWLEY CONSERVATION COMMISSION
2. PLANTING LAYOUT SHOWN IS CONCEPTUAL ONLY.
3. WETLAND SEED MIX CAN BE PURCHASED FROM NEW ENGLAND WETLAND PLANTS, INC. IN AMHERST, MA. (413) 548-8000 WWW.NEWP.COM

GUTTER INLET TO TREATMENT SWALE
CATCH BASINS TYPE 2

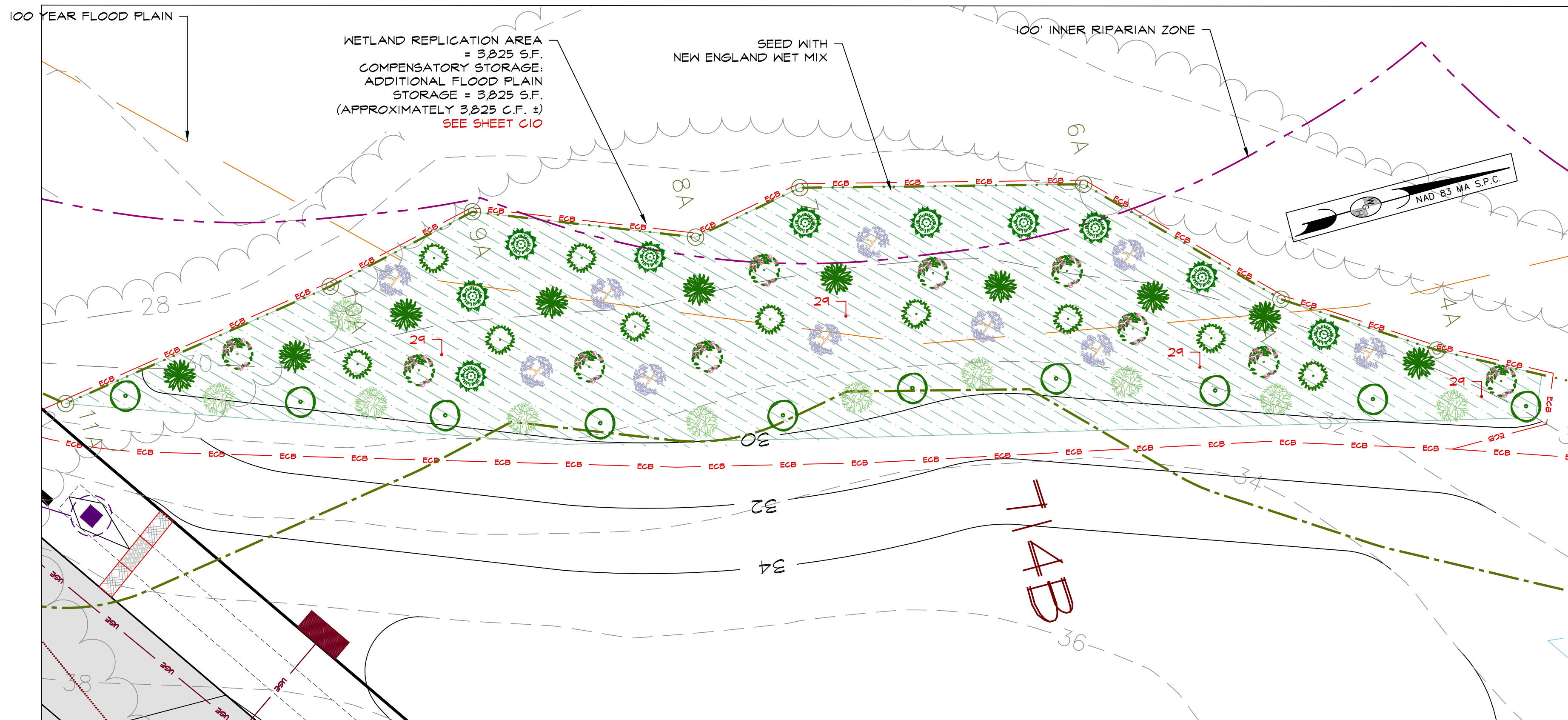
NOT TO SCALE

SECTIONS	ITEM NO.	WEIGHT
1'-0" RISER	MC-MCB12RH	440#
2'-0" RISER	MC-MCB24RH	880#
3'-0" RISER	MC-MCB36RH	1320#
2'-0" BASE	MC-MCB24SH	1175#
2'-0" BARREL	MC-MCB24BSH	880#
38" COVER	MC-MCB38CH	585#

GUTTER INLET DETAIL-TYPE I

SEE SHEET C6-6
E.F.SHEA
NOT TO SCALE

- NOTES:
- 1) CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
 - 2) FLAT COVER WITH CLEANOUT CAN BE USED IN PLACE OF CONE.
 - 3) OPTIONAL ROUND CONCRETE COVER CAN BE USED IN PLACE OF CAST IRON FRAME AND COVER.

30" CATCH BASIN - TYP. 2
TREATMENT SWALE CATCH BASINE.F.SHEA
NOT TO SCALE

WETLAND REPLICATION AREA

SCALE: 1"=10'

DATE: _____

project title:
FALCON RIDGE SUBDIVISIONprepared for applicant:
TAYLOR LANE LLC
357 NORTH STREET
GEORGETOWN, MA 01833

parcel identification:

map: 9 & 12

block: N.A.

parcel: N.A.

lot: 2, 3, 4, & 23

revisions

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plan submission

O.S.R.D PLANS

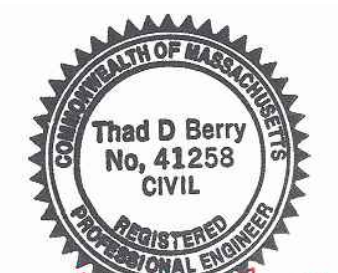
date: 1.16.2020

scale: AS NOTED

job no: 2017-22

DEP no: 063-0692 O.R.A.D.

DEP no: 063-0693 N.O.I.



drawing name

BMP &
STORM WATER
RECHARGE
DETAILS

drawing number



sheet 40 of 42

Post Hydrology (D2)
Prepared by (enter your company name here)
HydroCAD® 10.00-25 s/n 01284 © 2019 HydroCAD Software Solutions LLC
Type III 24-hr Custom Rainfall=1.00"
Printed 1/21/2020
Page 1

Pond R1: Roof Infiltration - Chamber Wizard Field A**Chamber Model = Cultec R-150XLHD (Cultec Recharger® 150XLHD)**

Effective Size= 29.8"W x 18.0"H => 2.65 sf x 10.25'L = 27.2 cf

Overall Size= 33.0"W x 18.5"H x 11.00'L with 0.75' Overlap

Row Length Adjustment= +0.75' x 2.65 sf x 2 rows

33.0" Wide + 24.0" Spacing = 57.0" C-C Row Spacing

1 Chambers/Row x 10.25' Long +0.75' Row Adjustment = 11.00' Row Length +12.0" End Stone x 2 =
13.00' Base Length
2 Rows x 33.0" Wide + 24.0" Spacing x 1 + 12.0" Side Stone x 2 = 9.50' Base Width
6.0" Base + 18.5" Chamber Height + 8.0" Cover = 2.71' Field Height

2 Chambers x 27.2 cf +0.75' Row Adjustment x 2.65 sf x 2 Rows = 58.3 cf Chamber Storage

334.5 of Field - 58.3 of Chambers = 276.2 of Stone x 40.0% Voids = 110.5 of Stone Storage

Chamber Storage + Stone Storage = 168.8 cf = 0.004 af

Overall Storage Efficiency = 50.5%

Overall System Size = 13.00' x 9.50' x 2.71'

2 Chambers
12.4 cy Field
10.2 cy Stone

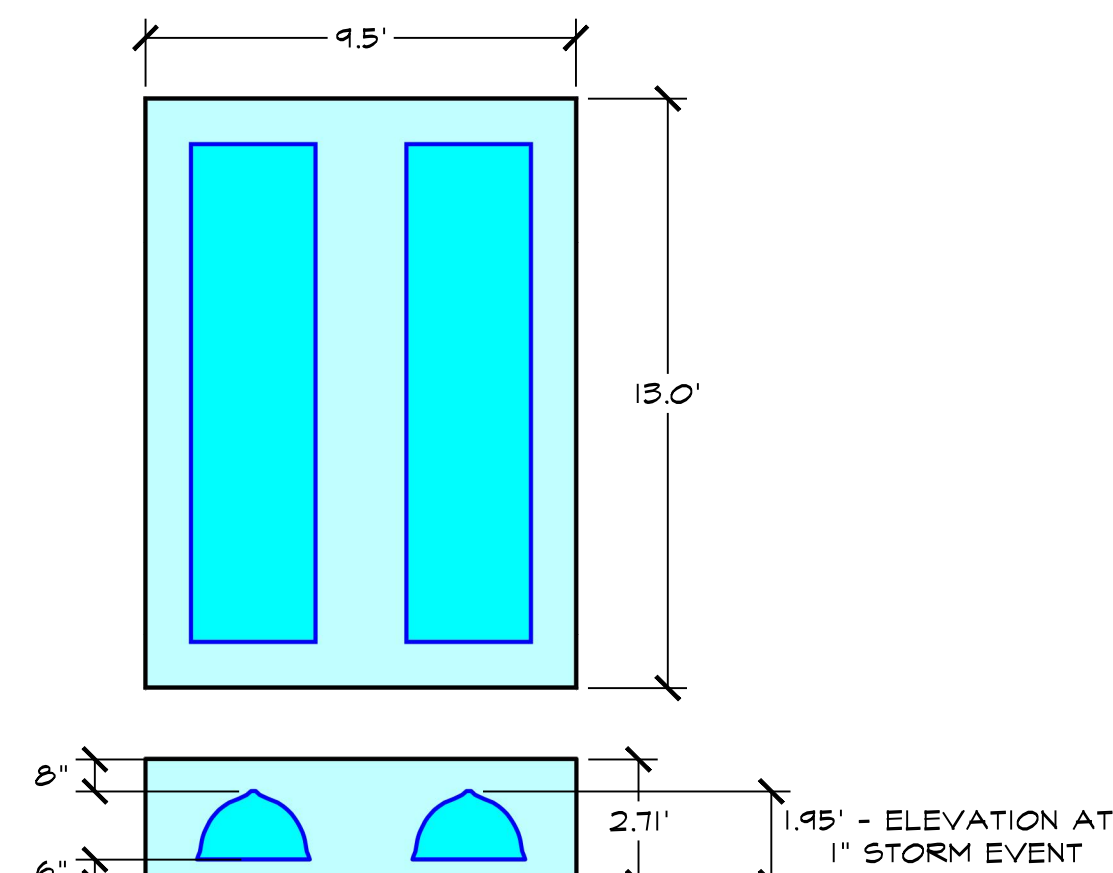
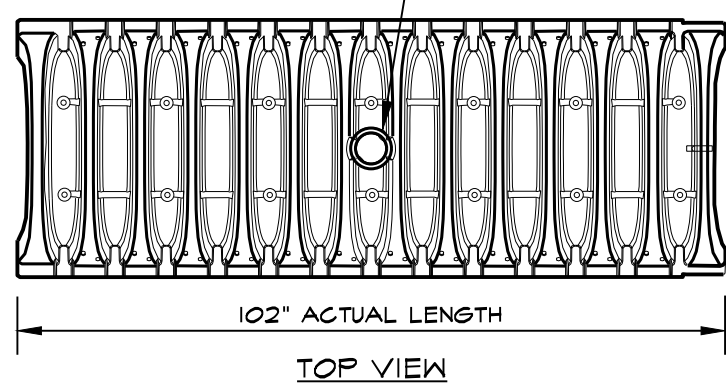
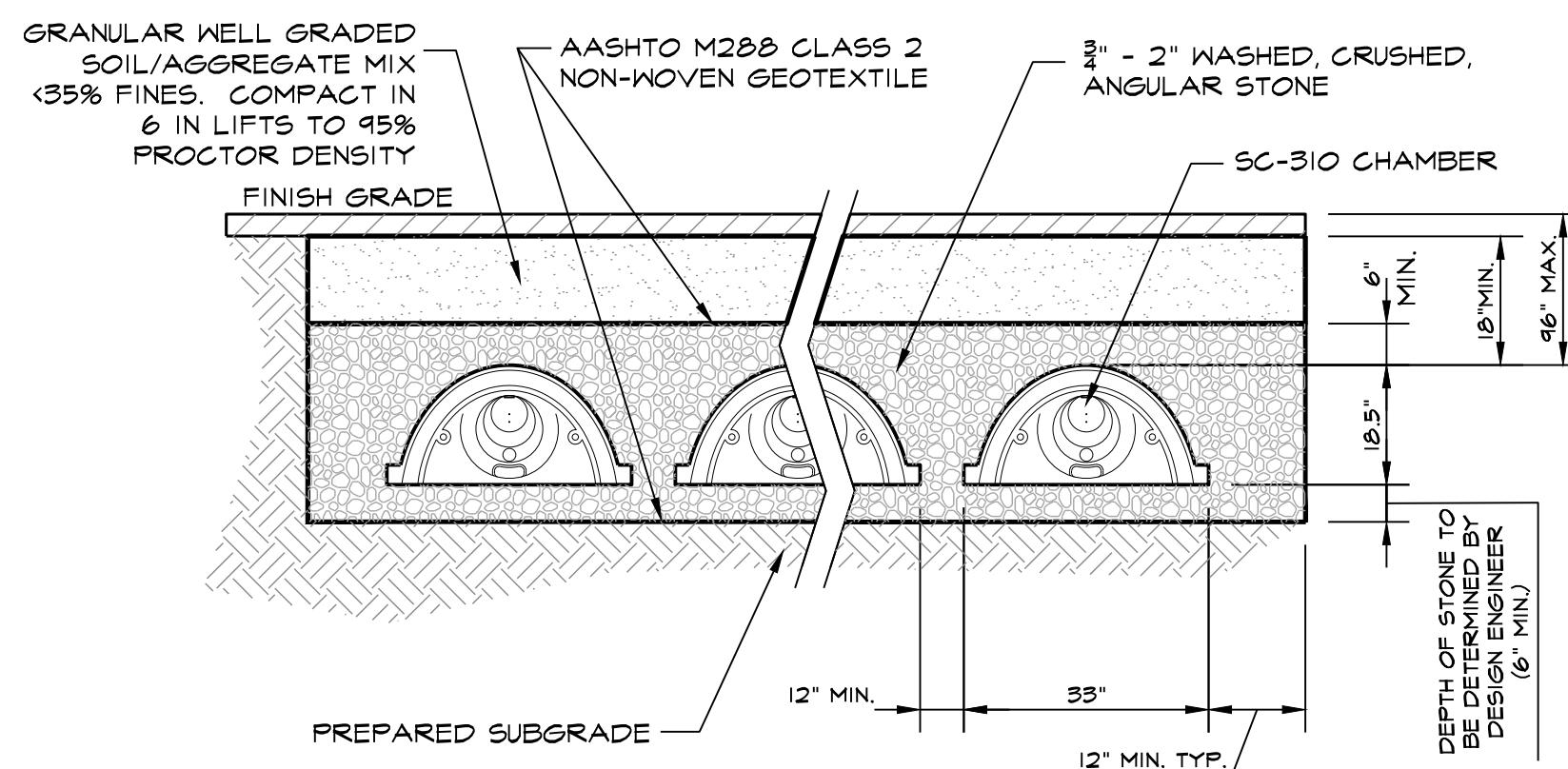
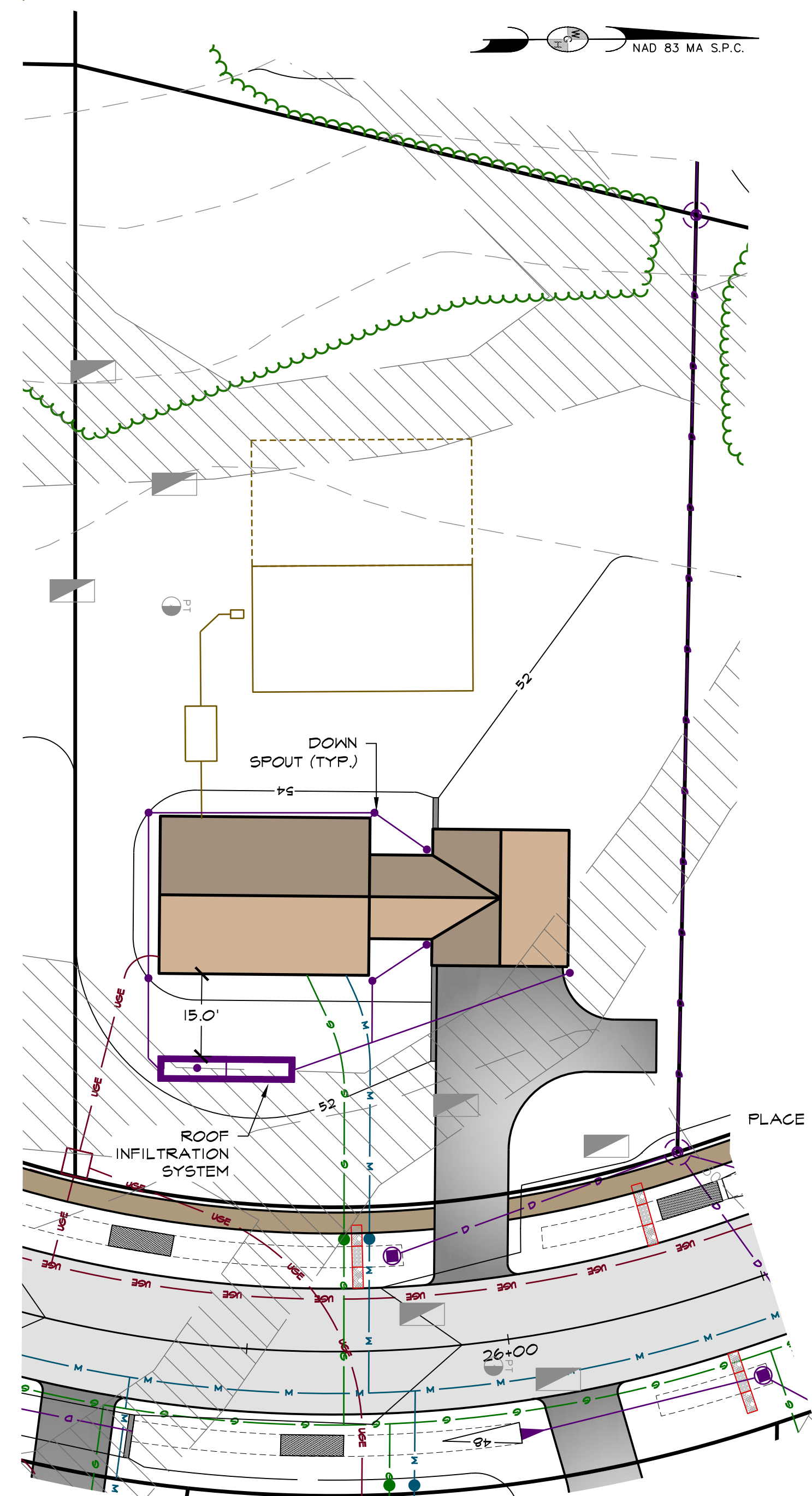
ACCEPTS 4" SCH 40 PIPE FOR
CLEANOUT OR INSPECTION PORT

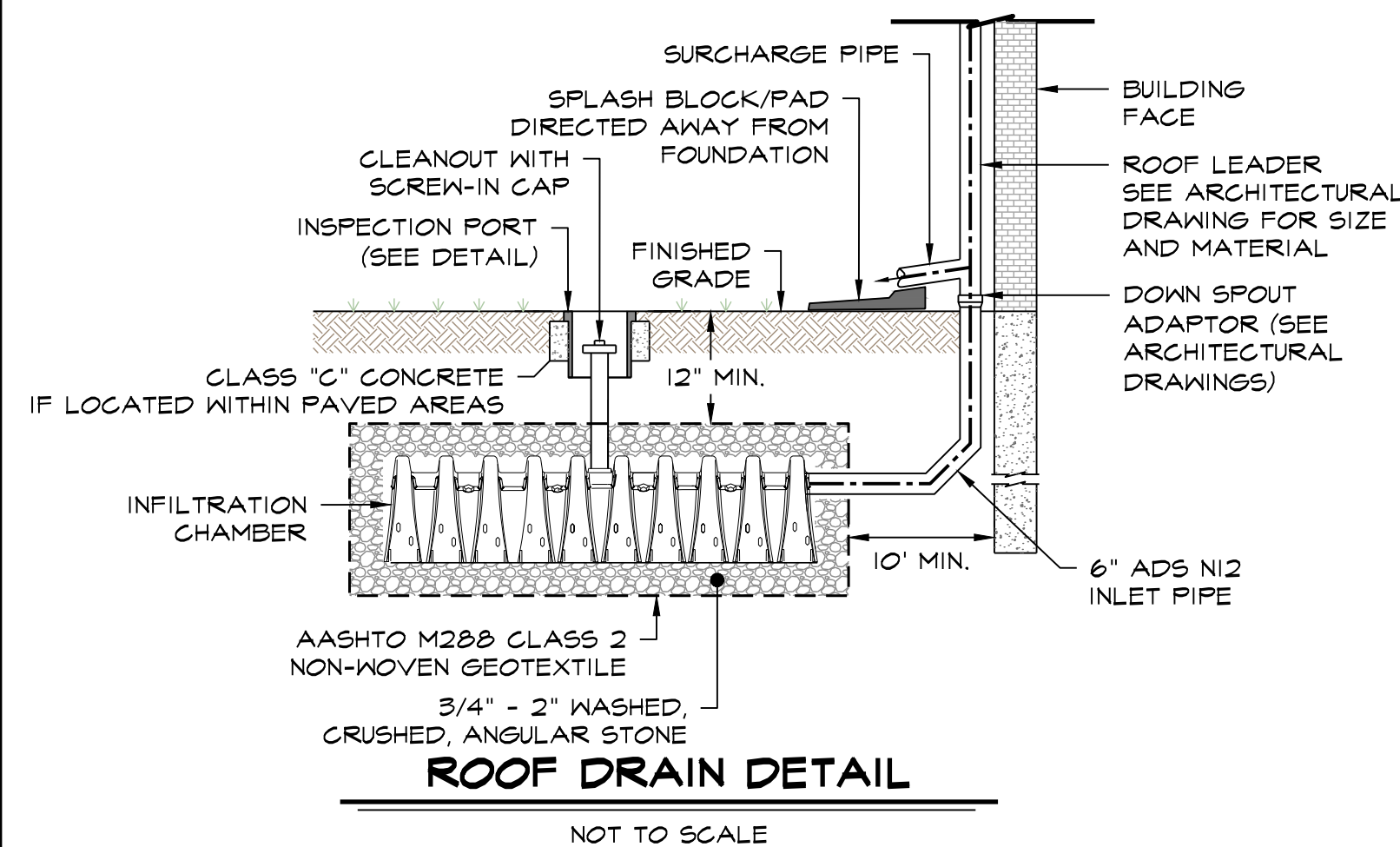
Diagram showing the side view and end view of the chamber with dimensions: 90.0" INSTALLED, 33.0" width, and 18.5" height.

TYPICAL CHAMBER DETAIL**TYPICAL CROSS-SECTION****CULTEX R-150HD CHAMBER SYSTEM**

NOT TO SCALE

**ROOF INFILTRATION DETAIL**

SCALE: 1"=20'

**ROOF DRAIN DETAIL**

NOT TO SCALE

STORM WATER RECHARGE:

TOTAL RECHARGE REQUIRED = 7,981 C.F. (SEE STORM WATER CHECKLIST WRITE UP)

RECHARGE REQUIRED PER LOT = 7,981 C.F./49 = 162.9 C.F.

RECHARGE PROVIDED PER LOT = 168.8 > 162.9 C.F.

TOTAL RECHARGE PROVIDED = 8,212.2 C.F.

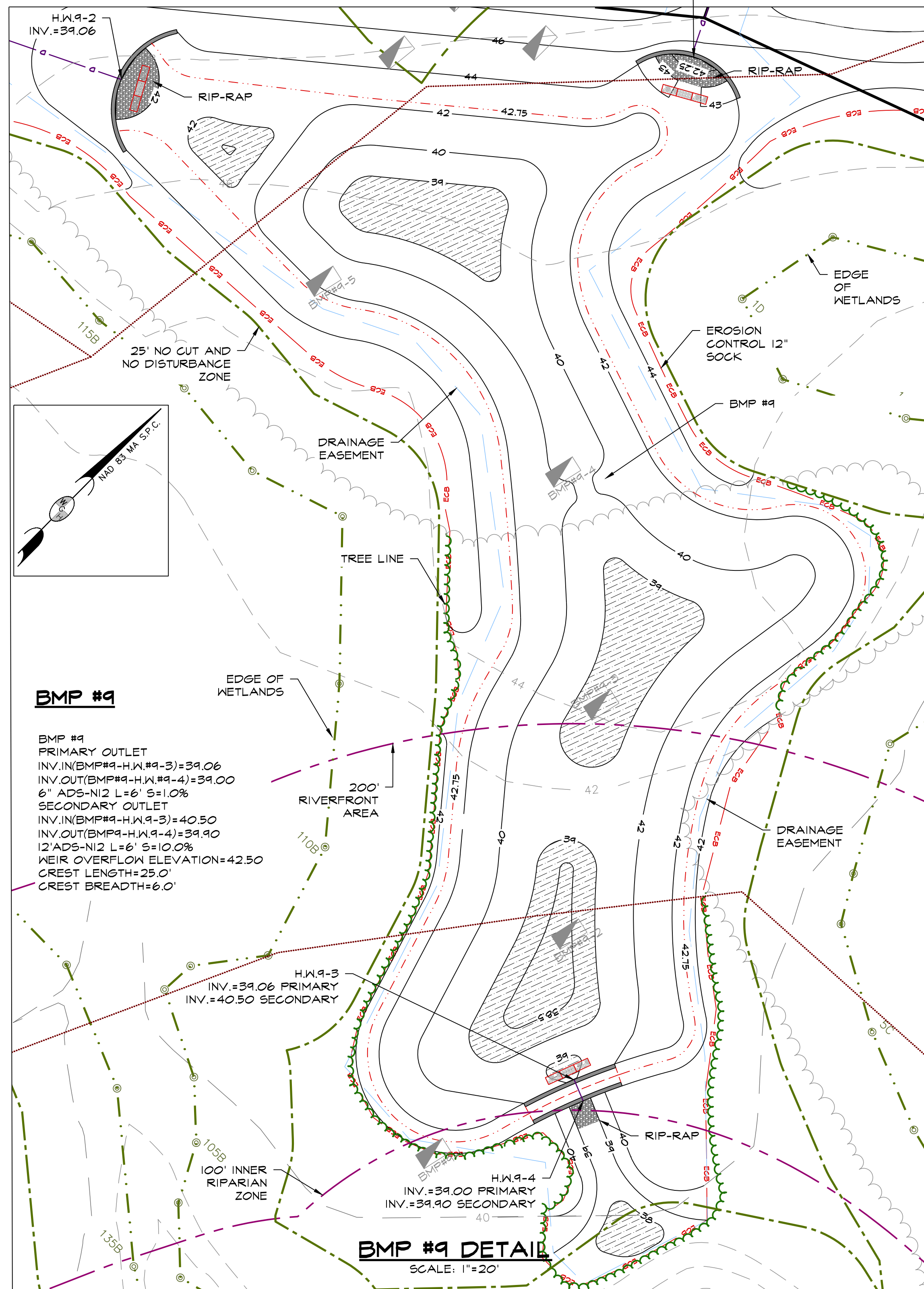
INFILTRATION AREA = 123.50 S.F.

BMP #11

PRIMARY
INV. IN(BMP#10-H.W.#1)=39.00
INV. OUT(BMP#10-H.W.#1)=38.94
6" ADS-N12 L=6' S=1.0%
SECONDARY
INV. IN(BMP#10-H.W.#2)=40.30
INV. OUT(BMP#10-H.W.#2)=39.07
6" ADS-N12 L=12' S=0.1%
WEIR OVERFLOW
ELEVATION=42.75
CREST LENGTH=25.5'
CREST BREADTH=6.0'

BMP #11 DETAIL

SCALE: 1"=20'

**BMP #9**

BMP #9
PRIMARY OUTLET
INV. IN(BMP#9-H.W.#9-3)=39.06
INV. OUT(BMP#9-H.W.#9-4)=39.00
6" ADS-N12 L=6' S=1.0%
SECONDARY OUTLET
INV. IN(BMP#9-H.W.#9-5)=40.50
INV. OUT(BMP#9-H.W.#9-4)=39.90
12" ADS-N12 L=6' S=10.0%
WEIR OVERFLOW ELEVATION=42.50
CREST LENGTH=25.0'
CREST BREADTH=6.0'

BMP #9 DETAIL

SCALE: 1"=20'

FOR REGISTRY USE ONLY

I CERTIFY THAT THIS PLAN CONFORMS
TO THE RULES AND REGULATIONS OF
THE REGISTERS OF DEEDS.*Thad D Berry*

DATE: 1.16.2020

DATE: _____

project title:

FALCON RIDGE SUBDIVISION

prepared for applicant:

TAYLOR LANE LLC

357 NORTH STREET
GEORGETOWN, MA 01833

parcel identification:

map: 9 & 12

block: N.A.

parcel: N.A.

lot: 2, 3, 4, & 23

revisions

no.	date	description
0	1.16.2020	ISSUED FOR REVIEW
1	4.27.20	REVIEW COMMENTS
2	6.21.20	REVIEW COMMENTS

plan submission

O.S.R.D PLANS

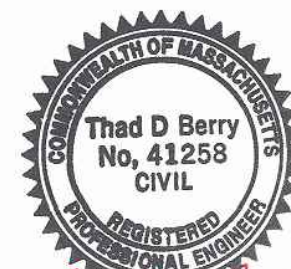
date: 1.16.2020

scale: AS NOTED

job no: 2017-22

DEP no: 063-0692 O.R.A.D.

DEP no: 063-0693 N.O.I.

*Thad D Berry*

drawing name

EROSION
CONTROL
DETAILS

drawing number

C12-1

sheet 41 of 42

EROSION CONTROL NOTES

EROSION CONTROL PRINCIPLES

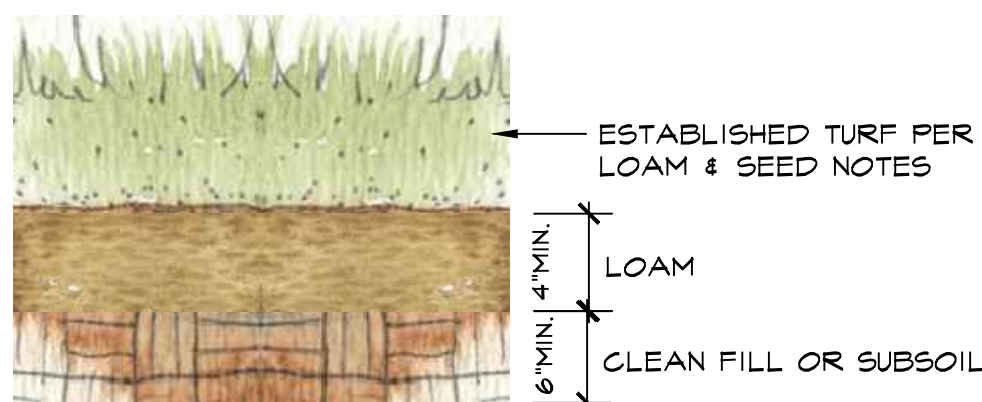
- A. THE FOLLOWING EROSION CONTROL PRINCIPLES SHALL APPLY TO THE LAND GRADING AND CONSTRUCTION PHASES:
- 1) STRIPPING OF VEGETATION, GRADING, OR OTHER SOIL DISTURBANCE SHALL BE DONE IN A MANNER WHICH WILL MINIMIZE SOIL EROSION.
 - 2) WHENEVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED.
 - 3) EXTENT OF AREA WHICH IS EXPOSED AND FREE OF VEGETATION AND DURATION OF ITS EXPOSURE SHALL BE KEPT WITHIN PRACTICAL LIMITS.
 - 4) TEMPORARY SEEDING, MULCHING, OR OTHER SUITABLE STABILIZATION MEASURES SHALL BE USED TO PROTECT EXPOSED CRITICAL AREAS DURING PROLONGED CONSTRUCTION OR OTHER LAND DISTURBANCE.
 - 5) DRAINAGE PROVISIONS SHALL ACCOMMODATE INCREASED RUNOFF RESULTING FROM MODIFICATIONS OF SOIL AND SURFACE CONDITIONS DURING AND AFTER DEVELOPMENT OR DISTURBANCE. SUCH PROVISIONS SHALL BE IN ADDITION TO EXISTING REQUIREMENTS.
 - 6) SEDIMENT SHALL BE RETAINED ON-SITE.
 - 7) EROSION CONTROL DEVICES SHALL BE INSTALLED AS EARLY AS POSSIBLE IN THE CONSTRUCTION SEQUENCE PRIOR TO START OF CLEARING AND GRUBBING OPERATIONS AND EXCAVATION WORK.
- B. CUT AND FILL SLOPES AND STOCKPILED MATERIALS SHALL BE PROTECTED TO PREVENT EROSION. SLOPES SHALL BE PROTECTED WITH PERMANENT EROSION PROTECTION WHEN EROSION EXPOSURE PERIOD IS GREATER THAN OR EQUAL TO SIX MONTHS, AND TEMPORARY EROSION PROTECTION WHEN EROSION EXPOSURE PERIOD IS EXPECTED TO BE LESS THAN SIX MONTHS (SEE NOTE 18).
- 1) PERMANENT EROSION PROTECTION SHALL BE ACCOMPLISHED BY SEEDING WITH GRASS AND COVERING WITH AN EROSION PROTECTION MATERIAL, AS APPROPRIATE FOR PREVAILING CONDITIONS.
 - 2) EXCEPT WHERE SPECIFIED SLOPE IS INDICATED ON DRAWINGS, FILL SLOPES SHALL BE LIMITED TO A GRADE OF 3:1 (HORIZONTAL:VERTICAL) AND CUT SLOPES SHALL BE LIMITED TO A GRADE OF 3:1.

SILTATION SOCK

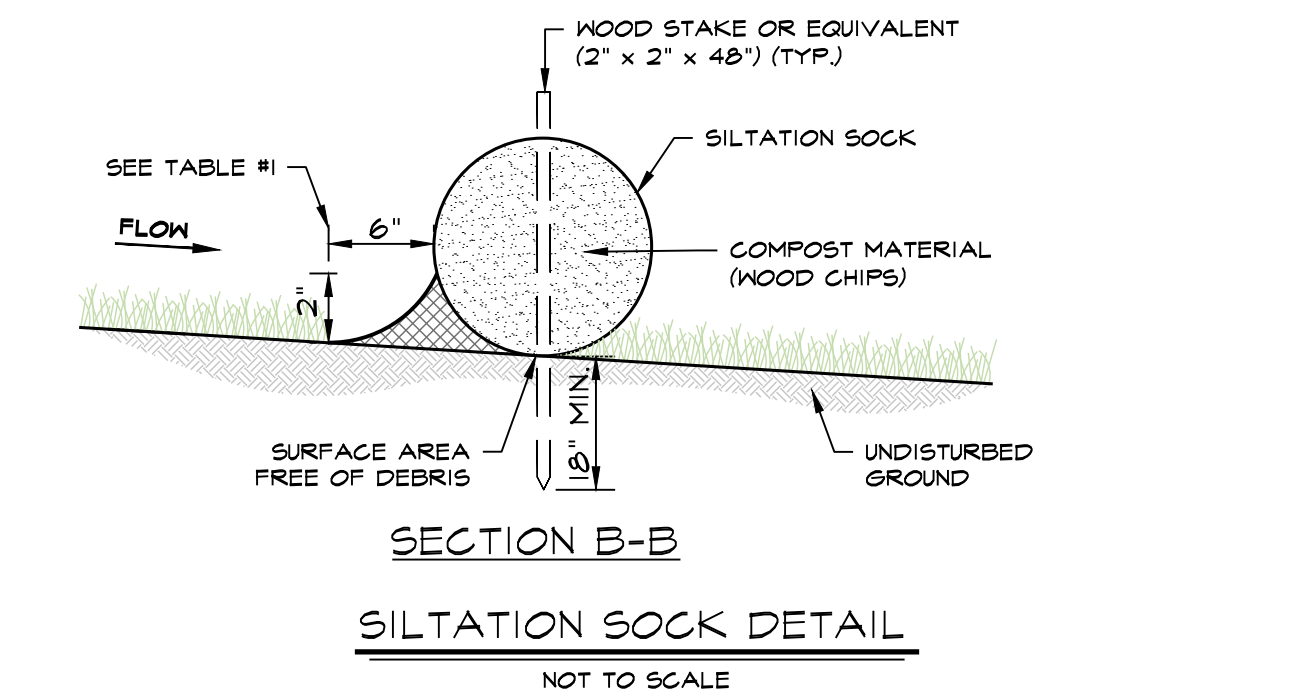
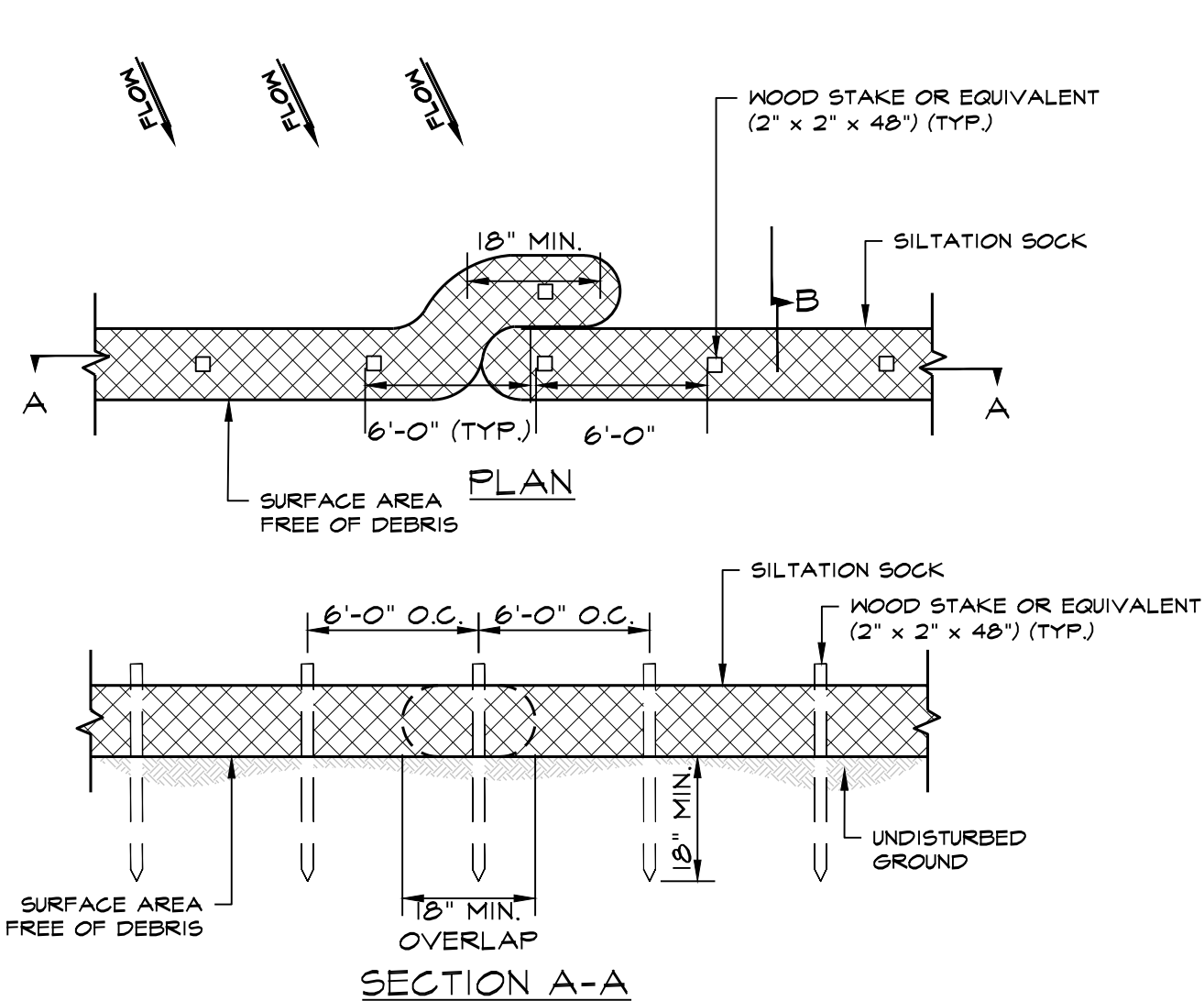
INSTALL SILTATION SOCK IN ACCORDANCE WITH THE PLAN DETAIL.

MAINTENANCE AND REMOVAL OF CONTROL DEVICES

- A. WETLAND AREAS, WATER COURSES, AND DRAINAGE SWALES ADJACENT TO CONSTRUCTION ACTIVITIES SHALL BE MONITORED TWICE EACH MONTH FOR EVIDENCE OF SILT INTRUSION AND OTHER ADVERSE ENVIRONMENTAL IMPACTS, WHICH SHALL BE CORRECTED IMMEDIATELY UPON DISCOVERY.
- B. CULVERTS AND DRAINAGE DITCHES SHALL BE KEPT CLEAN AND CLEAR OF OBSTRUCTIONS DURING CONSTRUCTION PERIOD.
- C. EROSION CONTROL DEVICES:
- 1) SEDIMENT BEHIND THE EROSION CONTROL DEVICE SHALL BE CHECKED TWICE EACH MONTH AFTER EACH HEAVY RAIN. SILT SHALL BE REMOVED IF GREATER THAN 6-INCHES DEEP.
 - 2) CONDITION OF EROSION CONTROL DEVICE SHALL BE CHECKED TWICE EACH MONTH OR MORE FREQUENTLY AS REQUIRED. DAMAGED AND/OR DETERIORATED ITEMS SHALL BE REPLACED. EROSION CONTROL DEVICES SHALL BE MAINTAINED IN-PLACE AND IN EFFECTIVE CONDITION.
 - 3) HAY BALES SHALL BE INSPECTED FREQUENTLY AND MAINTAINED OR REPLACED AS REQUIRED TO MAINTAIN BOTH EFFECTIVENESS AND INSTALLED CONDITION. UNDERSIDE OF BALES SHALL BE KEPT IN CLOSE CONTACT WITH THE EARTH BELOW AT ALL TIMES, AS REQUIRED TO PREVENT WATER FROM WASHING BENEATH BALES.
 - 4) SEDIMENT SHALL BE REMOVED FROM THE RETENTION PONDS AT THE COMPLETION OF THE PROJECT AND PERIODICALLY DURING CONSTRUCTION. SEDIMENT DEPOSITS SHALL BE REMOVED WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 6 INCHES, OR AS DIRECTED.
 - 5) SEDIMENT DEPOSITS SHALL BE DISPOSED OF OFF-SITE, IN A LOCATION AND MANNER WHICH WILL NOT CAUSE SEDIMENT NUISANCE ELSEWHERE.
- D. REMOVAL OF EROSION CONTROL DEVICES:
- 1) THE CONSERVATION COMMISSION AGENT MUST INSPECT THE SITE AND APPROVE REMOVAL OF ANY EROSION CONTROL DEVICE.
 - 2) EROSION CONTROL DEVICES SHALL BE MAINTAINED UNTIL ALL DISTURBED EARTH HAS BEEN PAVED OR VEGETATED. AT WHICH TIME THEY SHALL BE REMOVED. AFTER REMOVAL, AREAS DISTURBED BY THESE DEVICES SHALL BE RE-GRADED AND SEEDDED.
 - 3) EROSION CONTROL NETTING SHALL BE KEPT SECURELY ANCHORED UNTIL START OF PERMANENT TURF CONSTRUCTION.
 - 4) EROSION PROTECTION MATERIAL SHALL BE KEPT SECURELY ANCHORED UNTIL ACCEPTANCE OF COMPLETED SLOPE OR ENTIRE PROJECT, WHICHEVER IS LATER.



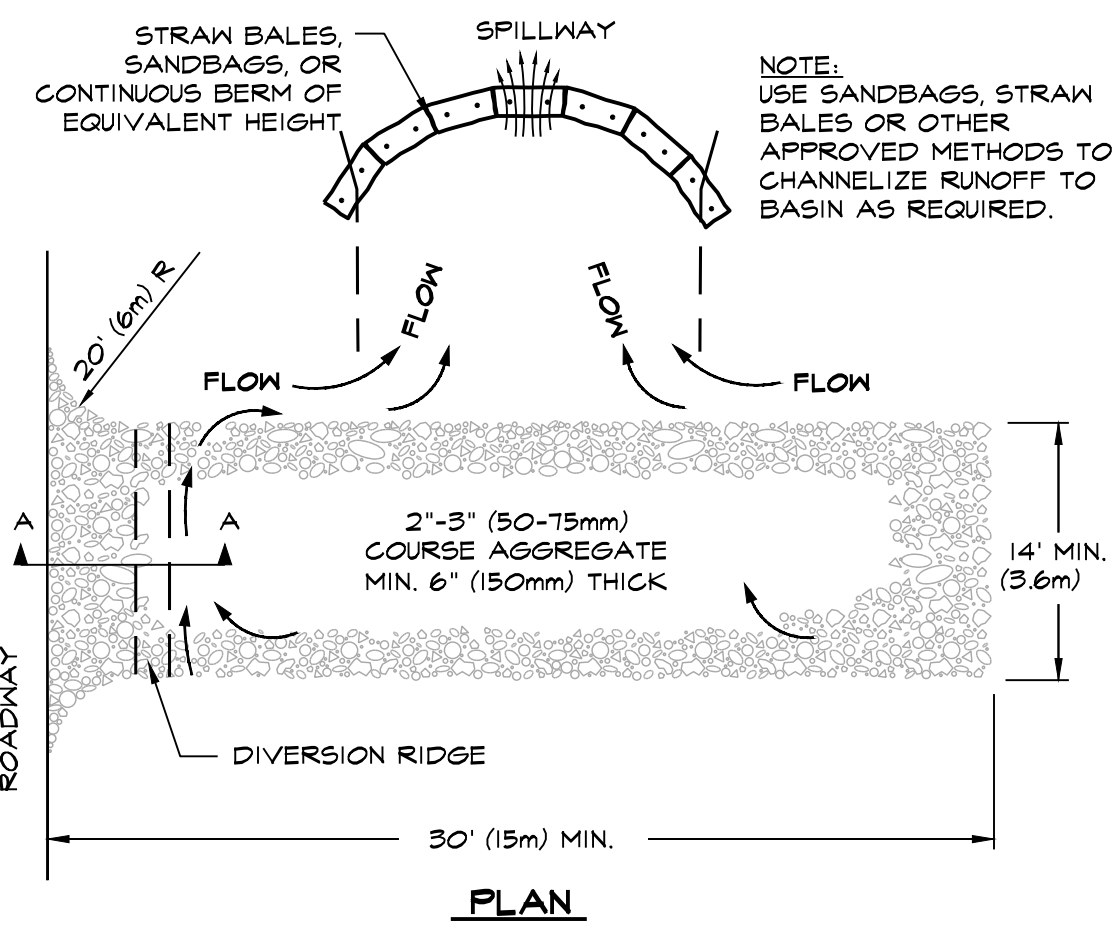
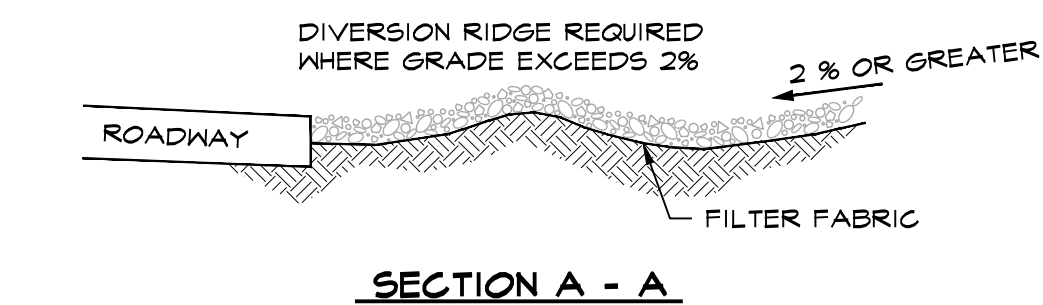
LOAM & SEED DETAIL



INSTALLATION NOTES:

1. INSTALL SILT SOCK ON A SURFACE CLEAR OF DEBRIS.
2. OVERLAP ENDS BY A MINIMUM OF 18-INCHES.
3. END OF SILT SOCK TO BE DIRECTED UP SLOPE.
4. PLACE STAKES THROUGH SILT SOCK OR ON DOWNSTREAM SIDE.
5. ON SLOPES GREATER THAN 2:1 (2:1) SEED COMPOST SOCK IS RECOMMENDED.

TABLE #1			
SLOPE	SOCK DIAMETER (MIN)	STAKING	2" COMPOST BARRIER (WOOD CHIPS)
< 50:1	9"	6' O.C.	---
50:1 TO 10:1	9"	6' O.C.	---
10:1 TO 5:1	12"	6' O.C.	---
5:1 TO 2:1	12"	4' O.C.	---
> 2:1	18"	4' O.C.	---

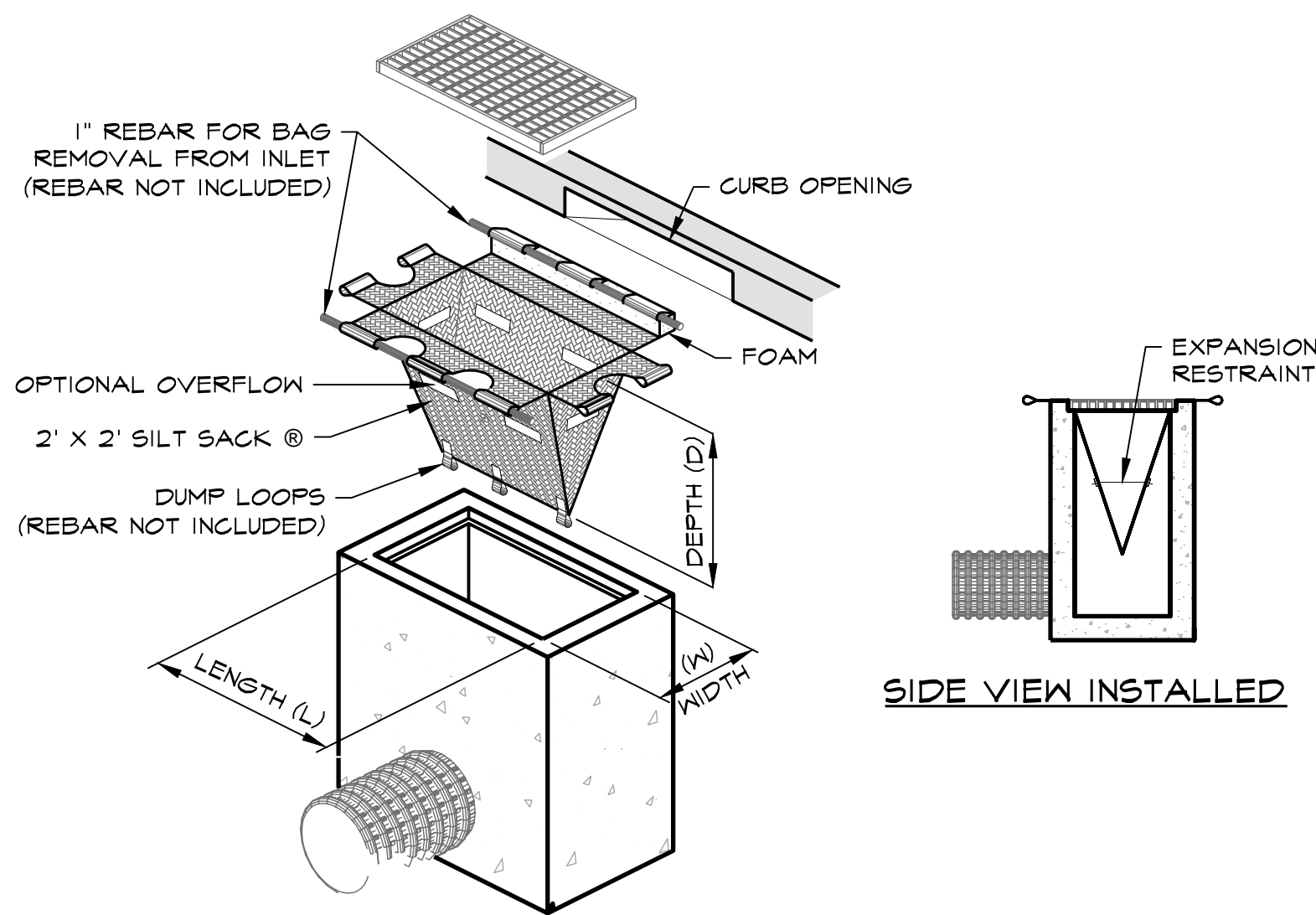


NOTES:

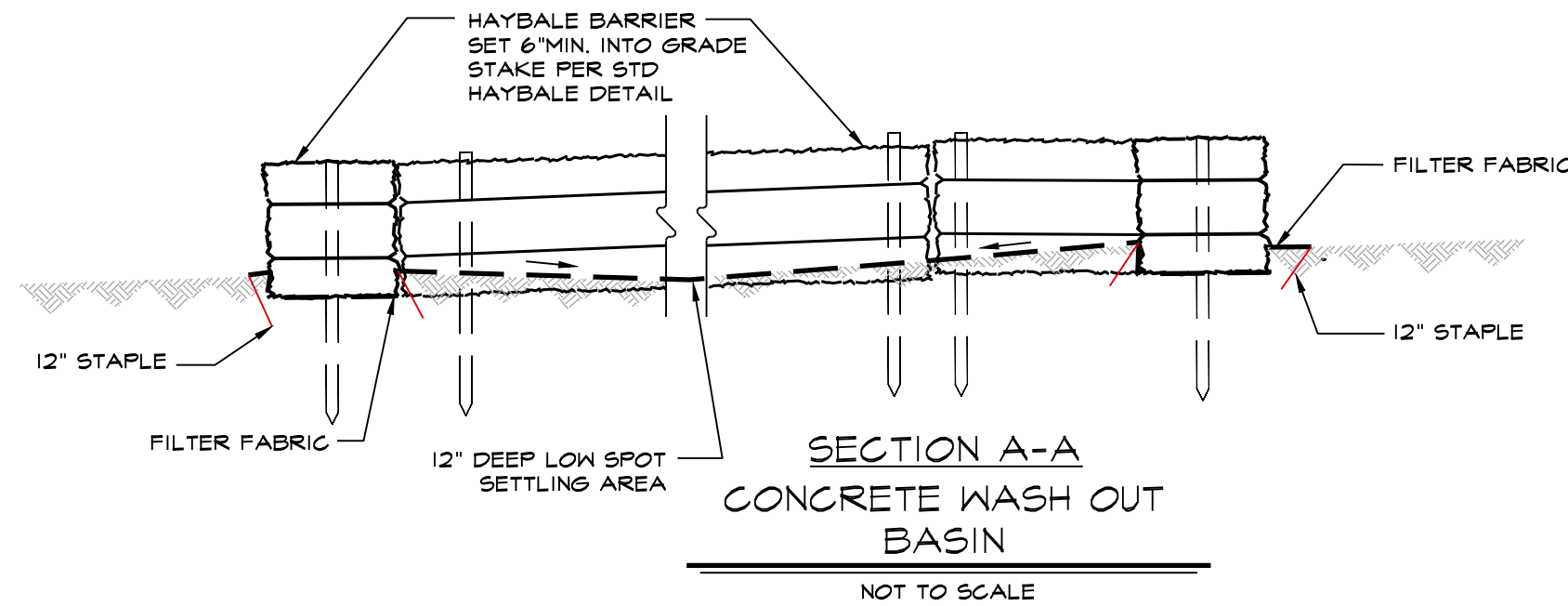
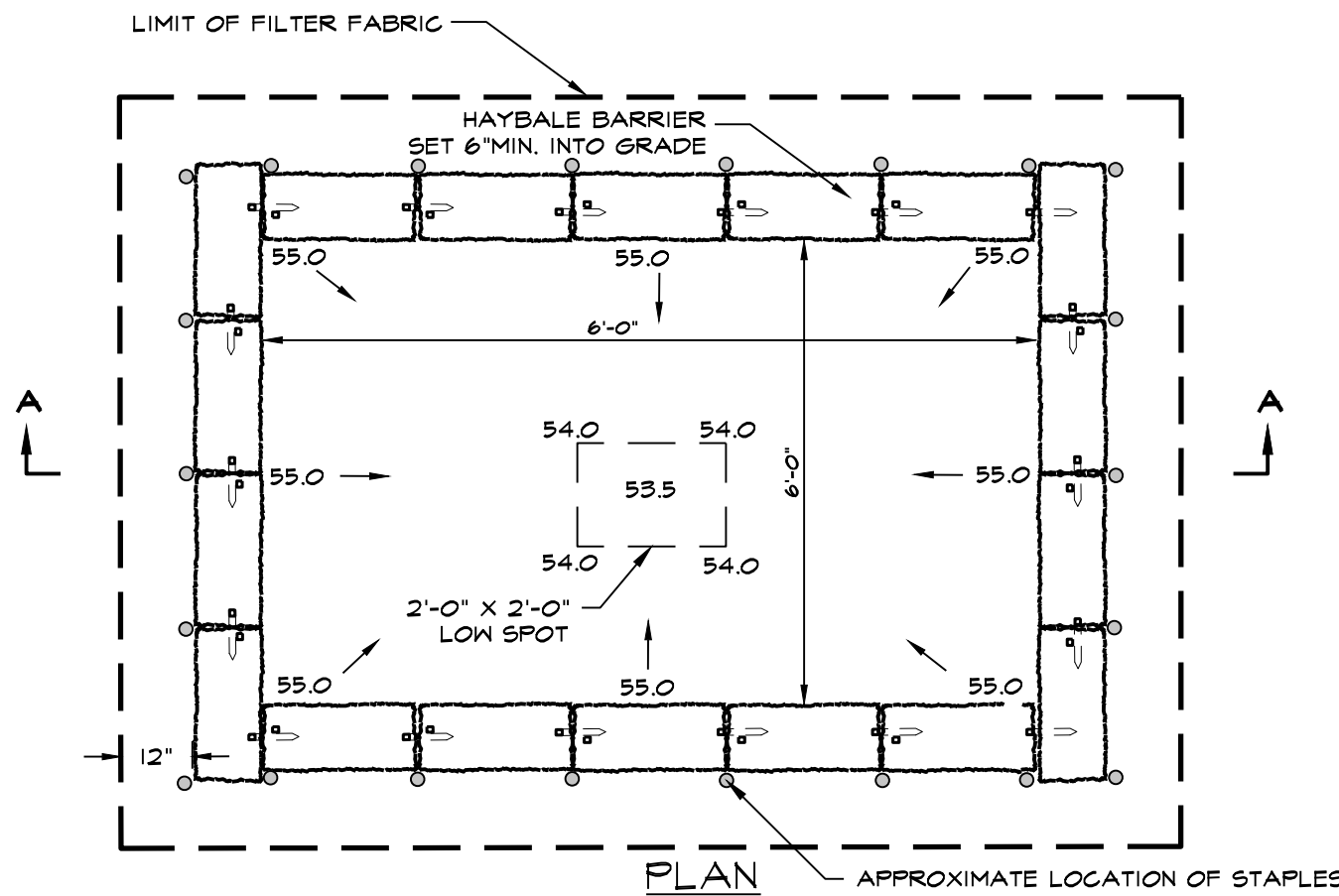
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. ADJACENT STREETS SHALL BE SWEEPED.

TEMPORARY
CONSTRUCTION ENTRANCE

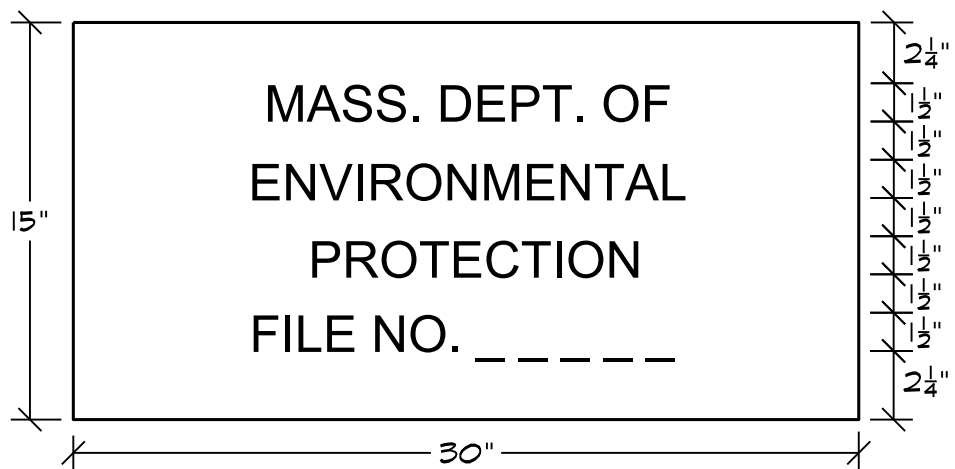
NOT TO SCALE

SILT BAG
INLET PROTECTION

NOT TO SCALE



ALL CONCRETE WASTE TO BE REMOVED AND DISPOSED OF OFF SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL RULES AND REGULATIONS



NOTES:

1. COLOR: LETTERING = BLACK
BACKGROUND = WHITE
2. THE SIGN IS TO BE PLACED ON ALL PROJECTS SUBJECT TO THE PROVISIONS OF THE MASSACHUSETTS WETLAND PROTECTION ACT.
3. THE LOCATION OF THE SIGN IS TO BE DETERMINED BY THE ENGINEER.

MASSDEP SIGN DETAIL

NOT TO SCALE



EROSION CONTROL

STORMWATER POLLUTION PREVENTION PLAN NOTES:

1. EROSION CONTROL BARRIER TO BE STAKED IN THE FIELD BY SURVEYOR PRIOR TO CONSTRUCTION.
2. MATERIAL STOCKPILE AREA WILL BE SURROUNDED BY AN EROSION CONTROL BARRIER (HAY BALES, SILTATION FENCE, AND/OR SILTATION SOCK). FINAL MATERIAL STOCKPILE AREAS WILL BE DETERMINED AT THE TIME OF CONSTRUCTION. CONTRACTOR SHALL PROVIDE CONSTRUCTION SCHEDULE AND FINAL STORMWATER POLLUTION PREVENT PLAN DETAILING MATERIAL STOCKPILE AREAS FOR ROADWAY AND BMP CONSTRUCTION. DURING CONSTRUCTION, MATERIAL STOCKPILE AREAS SHALL BE PLACED WITHIN AREA TO BE CLEAR FOR UNIT CONSTRUCTION AND OUTSIDE THE 100' BUFFER ZONE.
3. ALL LOAM IS TO REMAIN ON SITE UNTIL ALL AREAS ARE LOAMED AND SEEDED. EXCESS LOAM SHALL BE REMOVED FROM THE SITE AT THE COMPLETION FOR ROADWAY AND LOT CONSTRUCTION.
4. FOR INDIVIDUAL UNIT CONSTRUCTION CONTRACTOR SHALL PLACE ALL MATERIALS WITHIN THE ZONE OF CONSTRUCTIONS SURROUNDED BY EROSION CONTROL BARRIER (HAY BALES, SILTATION FENCE, AND/OR SILTATION SOCK). CONTRACTOR IS RESPONSIBLE FOR MOVEMENT OF ALL MATERIALS ON THE LOT IN ORDER TO COMPLETE CONSTRUCTION IN CONFORMANCE WITH THE PLANS, DETAILS, SPECIFICATIONS AND NORTH READING CONSERVATION COMMISSION ORDER OF CONDITIONS.
5. CONSTRUCTION ENTRANCE WILL BE INSTALLED FOR VEHICLE ACCESS TO CONSTRUCTION STAGING AREA.
6. CONCRETE WASHOUT AREA WILL BE A MINIMUM OF 6'x6' AND BE SURROUNDED BY A SINGLE ROW OF STACKED HAY BALES. ALL HARDENED CONCRETE WILL BE REMOVED AND DISPOSED OF OFF SITE IN ACCORDANCE WITH THE MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION'S (MADEP) RULES AND REGULATIONS.
7. ALL CATCH BASINS WILL BE PROTECTED BY A "SILT BAG INLET PROTECTION".
8. BMP'S WILL ACT AS TEMPORARY SEDIMENTATION POND DURING CONSTRUCTION. THEREFOR THE INITIAL BASIN EXCAVATION SHOULD BE TAKEN TO NO MORE THAN 1 FT. OF THE FINISH BASIN FLOOR ELEVATION EXCEPT TO ACCOMMODATE THE BASIN OUTLET. ACCUMULATED SEDIMENTS SHALL BE REMOVED DURING FINAL BMP CONSTRUCTION AND STABILIZATION. REMOVE SEDIMENTS WHEN DEPTH REACHES 12".
9. DURING BUILDING CONSTRUCTION A VEHICLE WASH AREA WILL BE LOCATED WITHIN THE GENERAL BUILDING AREA CONSTRUCTION LIMITS.
10. CONTRACTOR SHALL OBTAIN NPDES GENERAL PERMIT PRIOR TO CONSTRUCTION.
11. CONTRACTOR SHALL KEEP A COPY OF THE APPROVED PLANS ALONG WITH THE NORTH READING CONSERVATION COMMISSION'S ORDER OF CONDITIONS AND NORTH READING PLANING BOARD CONDITIONS OF APPROVAL AT ALL TIMES.

SEED MIX PLANTING

FINAL SEEDING LOCATIONS OTHER THAN THOSE IN THE BMP'S WILL BE DETERMINED AT TIME OF FINAL SITE RESTORATION.

NEW ENGLAND WETLAND PLANTS, INC

820 WEST STREET, AMHERST, MA 01002
PHONE: 413-548-8000 FAX 413-549-4000
EMAIL: INFO@NEWP.COM WEB ADDRESS: WWW.NEWP.COM
New England Wetmix (Wetland Seed Mix)

Botanical Name	Common Name	Indicator
<i>Carex vulpinoidea</i>	Fox Sedge	OBL
<i>Carex scoparia</i>	Blunt Broom Sedge	FACW
<i>Carex lurida</i>	Lurid Sedge	OBL
<i>Carex lupulina</i>	Hop Sedge	OBL
<i>Poa palustris</i>	Fowl Bluegrass	FACW
<i>Bidens frondosa</i>	Beggar Ticks	FACW
<i>Scirpus atrovirens</i>	Green Bulrush	OBL
<i>Asclepias incarnata</i>	Swamp Milkweed	OBL
<i>Carex crinita</i>	Fringed Sedge	OBL
<i>Vernonia noveboracensis</i>	New York Ironweed	FACW+
<i>Juncus effusus</i>	Soft Rush	FACW+
<i>Aster lateriflorus (Symphyotrichum lateriflorum)</i>	Starved/Calico Aster	FACW
<i>Iris versicolor</i>	Blue Flag	OBL
<i>Glyceria grandis</i>	American Mannagrass	OBL
<i>Mimulus ringens</i>	Square Stemmed Monkey Flower	OBL
<i>Eupatorium maculatum (Eutrochium maculatum)</i>	Spotted Joe Pye Weed	OBL

The New England Wetmix (Wetland Seed Mix) contains a wide variety of native seeds that are suitable for most wetland restoration sites that are not permanently flooded. All species are best suited to moist ground as found in most wet meadows, scrub shrub, or forested wetland restoration areas. The mix is well suited for detention basin borders and the bottom of detention basins not generally under standing water. The seeds will not germinate under inundated conditions. If planted during the fall months the seed mix will germinate the following spring. During the first season of growth several species will produce seeds while other species will produce seeds after the second growing season. Not all species will grow in all wetland situations. This mix is comprised of the wetland species most likely to grow in created/restored wetlands and should produce more than 75% ground cover in two full growing seasons.

The wetland seeds in this mix can be sown by hand, with a hand-held spreader, or hydro-seeded on large or hard to reach sites. Lightly rake to insure good seed-to-soil contact. Seeding can take place on frozen soil, as the freezing and thawing weather of late fall and late winter will work the seed into the soil. If spring conditions are drier than usual watering may be required. If sowing during the summer months supplemental watering will likely be required until germination. A light mulch of clean, weed free straw is recommended.

New England Wetland Plants, Inc. may modify seed mixes at any time depending upon seed availability. The design criteria and ecological function of the mix will remain unchanged. Price is \$/bulk pound, FOB warehouse, Plus SH and applicable taxes.

NEW ENGLAND WETLAND PLANTS, INC

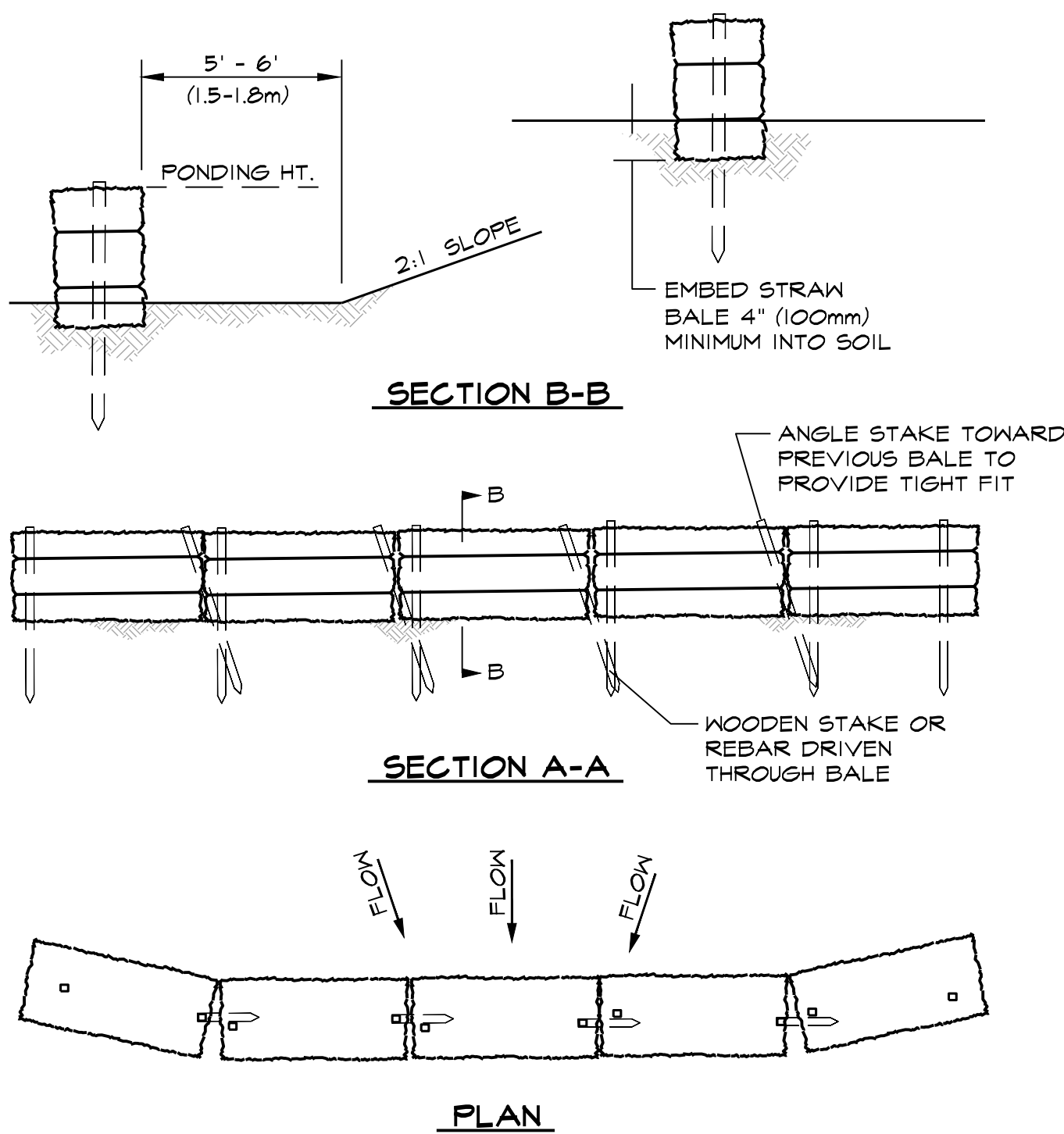
820 WEST STREET, AMHERST, MA 01002
PHONE: 413-548-8000 FAX 413-549-4000
EMAIL: INFO@NEWP.COM WEB ADDRESS: WWW.NEWP.COM
New England Roadside Matrix Wet Meadow Seed Mix

Botanical Name	Common Name	Indicator
<i>Elymus riparius</i>	Riverbank Wild Rye	FACW
<i>Elymus virginicus</i>	Virginia Wild Rye	FACW-
<i>Festuca rubra</i>	Red Fescue	FACU
<i>Panicum virgatum</i>	Switch Grass	FAC
<i>Carex scoparia</i>	Blunt Broom Sedge	FACW
<i>Cornus amomum</i>	Silky Dogwood	FACW
<i>Carex lurida</i>	Lurid Sedge	OBL
<i>Iris versicolor</i>	Blue Flag	OBL
<i>Asclepias incarnata</i>	Swamp Milkweed	OBL
<i>Viburnum dentatum</i>	Arrow Wood Viburnum	FAC
<i>Aster novae-angliae (Symphyotrichum novae-angliae)</i>	New England Aster	FACW-
<i>Eupatorium perfoliatum</i>	Boneset	FACW
<i>Eupatorium maculatum (Eutrochium maculatum)</i>	Spotted Joe Pye Weed	OBL
<i>Sambucus canadensis</i>	Elderberry	FACW-
<i>Scirpus atrovirens</i>	Green Bulrush	OBL
<i>Aster umbellatus (Doellingeria u.)</i>	Flat Topped/Umbrella Aster	FACW

PRICE PER LB. \$65.00 MIN. QUANTITY 1 LBS. TOTAL: \$65.00 APPLY: 35 LBS/ACRE :1250 sq ft/lb

The New England Roadside Matrix Mixes are designed for use along roads and highways. These mixes are unusual in that they contain native grasses, wildflowers, and shrubs that are blended together as a native matrix seed mix. In areas that receive frequent mowing, the cold season grasses will dominate, such as those areas closest to the roadway shoulder. In areas farther from the road, which may be mown only once each year, or in hard to mow areas, such as around sign posts, the wildflower component will become dominant. Along cuts and side slopes which may never be mown, the shrub component will add diversity and beauty to the roadside plantings. It is a particularly appropriate seed mix for roadsides, industrial sites, or cut and fill slopes. These mixes may be applied by hydroseeding, or by mechanical spreader. Always apply on a clean, weed-free seed bed. After sowing, lightly rake or roll the site to improve seed-to-soil contact. Best results are obtained with a mid-late spring seeding. Summer seeding will benefit from a light mulching of clean, weed-free straw to conserve soil moisture.

New England Wetland Plants, Inc. may modify seed mixes at any time depending upon seed availability. The design criteria and ecological function of the mix will remain unchanged. Price is \$/bulk pound, FOB warehouse, Plus SH and applicable taxes.

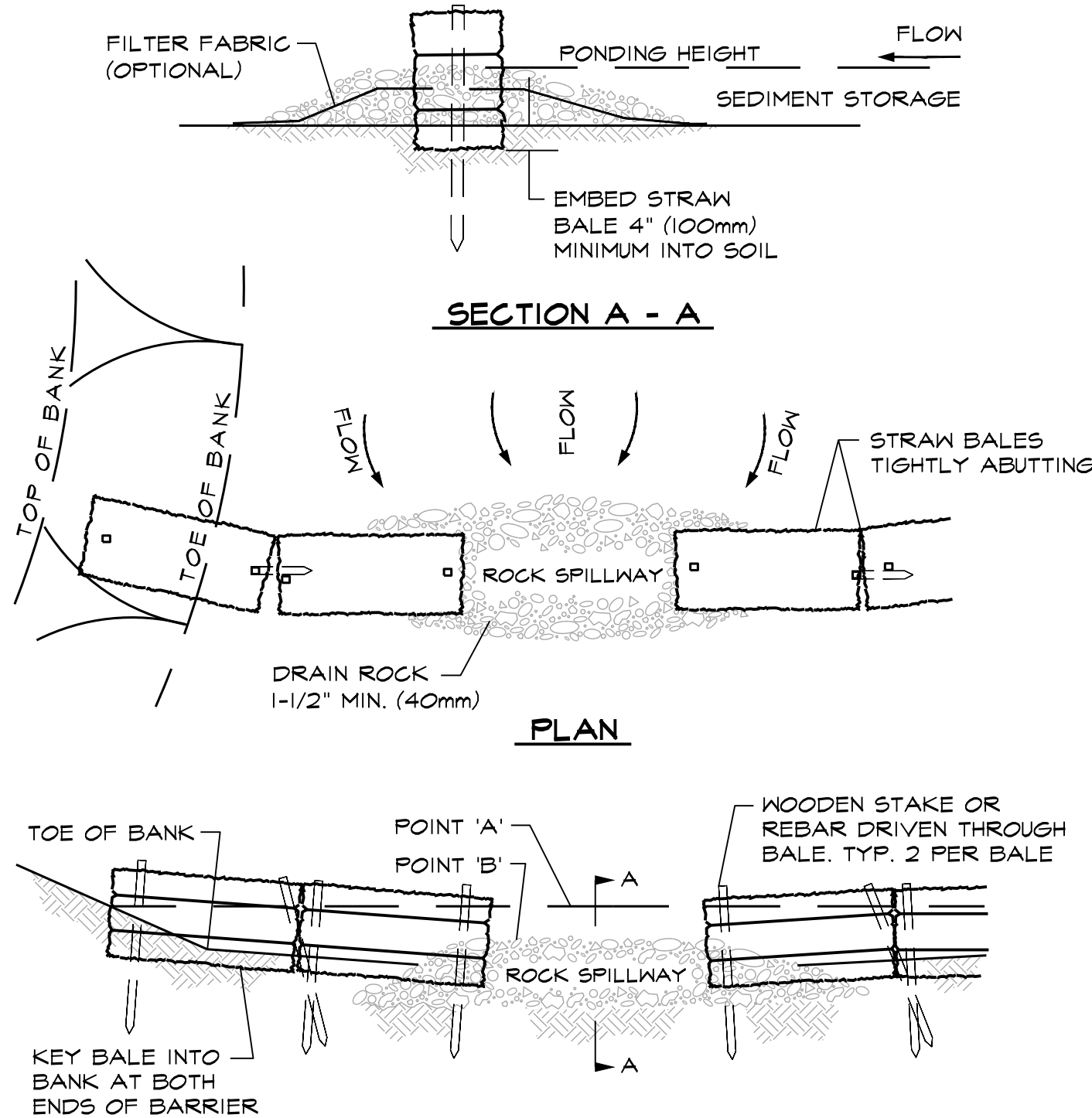


NOTES:

1. THE STRAW BALES SHALL BE PLACED ON SLOPE CONTOUR.
2. BALES TO BE PLACED IN A ROW WITH THE ENDS TIGHTLY ABUTTING.
3. KEY IN BALES TO PREVENT EROSION OR FLOW UNDER BALES.

STRAW BALE DIKE

NOT TO SCALE

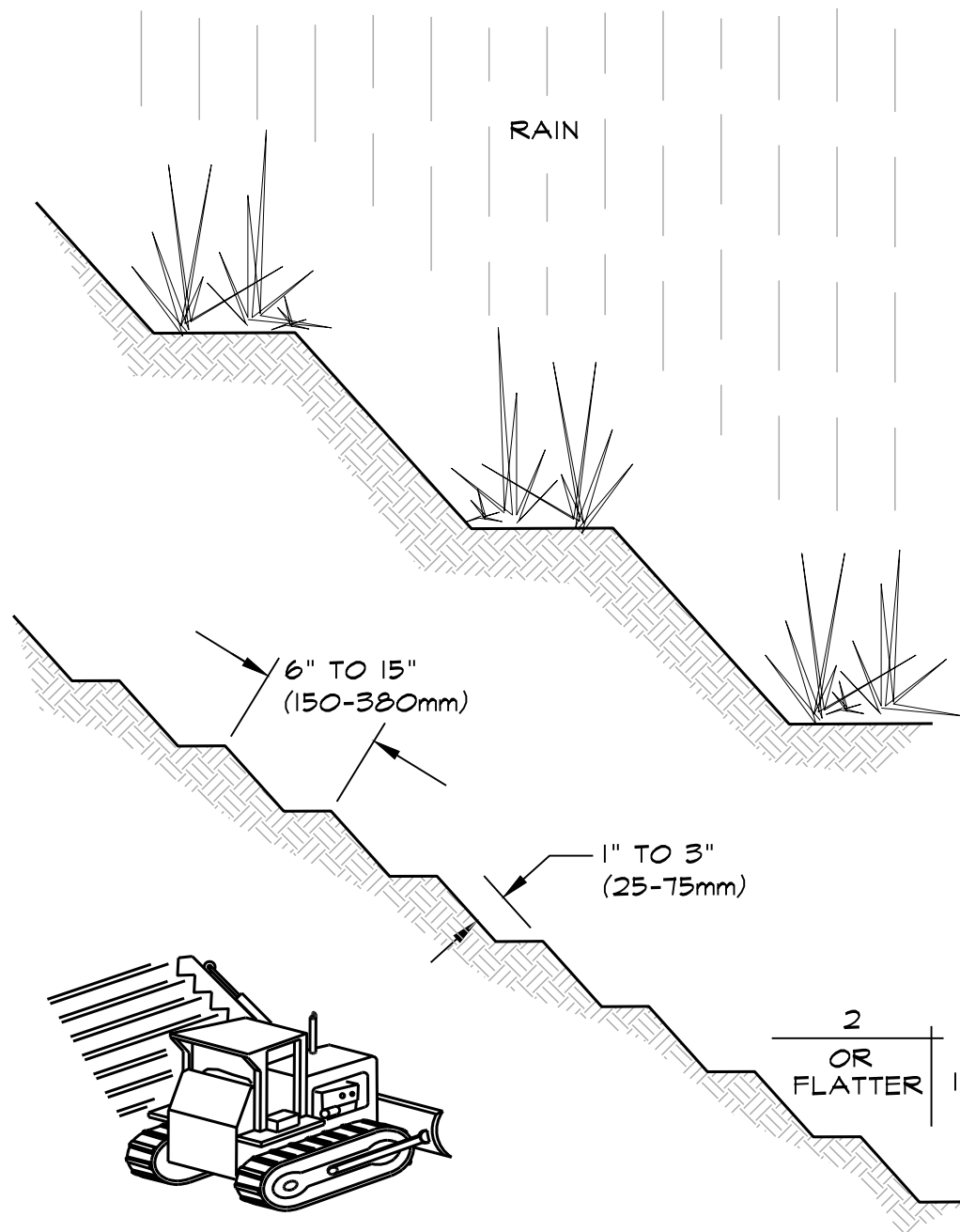


NOTES:

1. PLACE BALES PERPENDICULAR TO FLOW.
2. EMBED THE BALE 4" (100mm) INTO THE SOIL AND "KEY" THE END BALES INTO THE CHANNEL BANKS TO PREVENT FLOW AROUND THE BALES.
3. BALES PLACED IN A ROW WITH ENDS TIGHTLY ABUTTING.
4. POINT "A" SHALL BE HIGHER THAN POINT "B".
5. SPILLWAY HEIGHT SHALL NOT EXCEED 24" (0.6m).

SEMI-PERVIOUS
STRAW BALE SEDIMENT BARRIER

NOT TO SCALE



NOTE:
GROOVE BY CUTTING SERRATIONS ALONG THE
CONTOUR. IRREGULARITIES IN THE SOIL SURFACE
CATCH RAINWATER, SEED, MULCH AND FERTILIZER.

GROOVED OR SERRATED SLOPE

NOT TO SCALE

NEW ENGLAND WETLAND PLANTS, INC

820 WEST STREET, AMHERST, MA 01002
PHONE: 413-548-8000 FAX 413-549-4000
EMAIL: INFO@NEWP.COM WEB ADDRESS: WWW.NEWP.COM
New England Conservation/Wildlife Mix

Botanical Name	Common Name	Indicator
<i>Elymus virginicus</i>	Virginia Wild Rye	FACW-
<i>Schizachyrium scoparium</i>	Little Bluestem	FACU
<i>Andropogon gerardii</i>	Big Bluestem	FAC
<i>Festuca rubra</i>	Red Fescue	FACU
<i>Sorghastrum nutans</i>	Indian Grass	UPL
<i>Panicum virgatum</i>	Switch Grass	FAC
<i>Chamaecrista fasciculata</i>	Partridge Pea	FACU
<i>Desmodium canadense</i>	Showy Tick Trefoil	FAC
<i>Asclepias tuberosa</i>	Butterfly Milkweed	NI
<i>Bidens frondosa</i>	Beggar Ticks	FACW
<i>Eupatorium purpureum (Eutrochium maculatum)</i>	Purple Joe Pye Weed	FAC
<i>Rudbeckia hirta</i>	Black Eyed Susan	FACU-
<i>Aster pilosus (Symphyotrichum pilosum)</i>	Heath (or Hairy) Aster	UPL
<i>Solidago juncea</i>	Early Goldenrod	

PRICE PER LB. \$39.50 MIN. QUANTITY 2 LBS. TOTAL: \$79.00 APPLY: 25 LBS/ACRE :1750 sq ft/lb

The New England Conservation/Wildlife Mix provides a permanent cover of grasses, wildflowers, and legumes for both good erosion control and wildlife habitat value. The mix is designed to be a no maintenance seeding, and is appropriate for cut and fill slopes, detention basin side slopes, and disturbed areas adjacent to commercial and residential projects.

New England Wetland Plants, Inc. may modify seed mixes at any time depending upon seed availability. The design criteria and ecological function of the mix will remain unchanged. Price is \$/bulk pound, FOB warehouse, Plus SH and applicable taxes.

NEW ENGLAND WETLAND PLANTS, INC

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EMAIL: INFO@NEWP.COM WEB ADDRESS: WWW.NEWP.COM
New England Wildflower Mix

Botanical Name	Common Name	Indicator
<i>Schizachyrium scoparium</i>	Little Bluestem	FACU
<i>Sorghastrum nutans</i>	Indian Grass	UPL
<i>Chamaecrista fasciculata</i>	Partridge Pea	FACU
<i>Elymus virginicus</i>	Virginia Wild Rye	FACW-
<i>Elymus canadensis</i>	Canada Wild Rye	FACW+
<i>Festuca rubra</i>	Red Fescue	FACU
<i>Asclepias tuberosa</i>	Butterfly Milkweed	NI
<i>Vernonia noveboracensis</i>	New York Ironweed	FACW+
<i>Oenothera biennis</i>	Evening Primrose	FACU-
<i>Aster novae-angliae (Symphyotrichum novae-angliae)</i>	New England Aster	FACW-
<i>Rudbeckia hirta</i>	Black Eyed Susan	FACU-
<i>Solidago juncea</i>	Early Goldenrod	
<i>Eupatorium fistulosum (Eutrochium fistulosum)</i>	Hollow-Stem Joe Pye Weed	FACW
<i>Aster lateriflorus (Symphyotrichum lateriflorum)</i>	Starved/Calico Aster	FACW

PRICE PER LB. \$75.00 MIN. QUANTITY 1 LBS. TOTAL: \$75.00 APPLY: 23 LBS/ACRE :1900 sq ft/lb

New England Wetland Plants, Inc. may modify seed mixes at any time depending upon seed availability. The design criteria and ecological function of the mix will remain unchanged. Price is \$/bulk pound, FOB warehouse, Plus SH and applicable taxes.